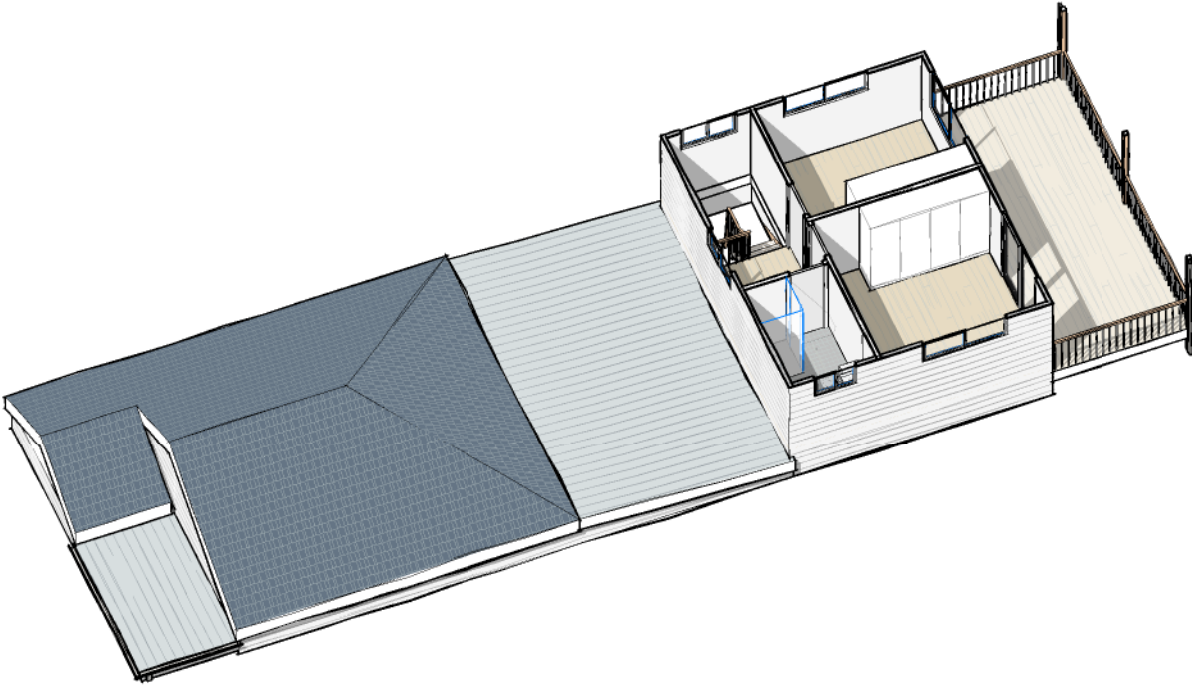


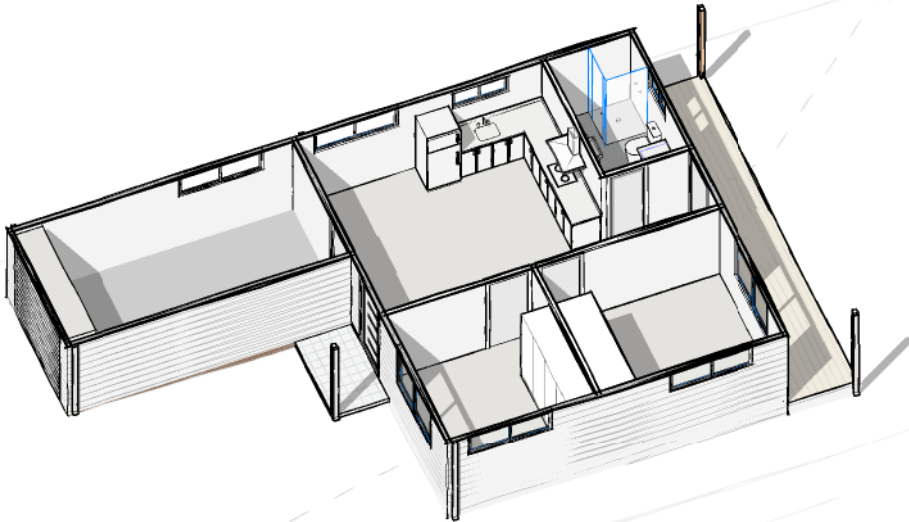
Sheet list	
Cover sheet	01
Internal axonometric	02
BASIX certificate 1	03
BASIX certificate 2	04
BASIX certificate 3	05
BASIX certificate 4	06
Canterbury Bankstown DCP 2023 1	07
Canterbury Bankstown DCP 2023 2	08
Canterbury Bankstown DCP 2023 3	09
Canterbury Bankstown DCP 2023 4	10
Canterbury Bankstown DCP 2023 5	11
State EnvironmentalPlanning Policy (housing) 2021 1	12
State EnvironmentalPlanning Policy (housing) 2021 2	13
State EnvironmentalPlanning Policy (housing) 2021 3	14
State EnvironmentalPlanning Policy (housing) 2021 4	15
State EnvironmentalPlanning Policy (housing) 2021 5	16
Existing photo	17
Site plan	18
Site analysis plan	19
Existing/Demolish/Proposed ground floor plan	20
Existing/Demolish/Proposed first floor plan	21
Proposed granny flat/Garage floor plan	22
Front elevation & Rear elevation	23
Sections	24
Elevations/Sections-Granny flat	25
Height Study	26
Doors & Windows schedule	27
Shadow diagram June 21st 9am	28
Shadow diagram June 21st 12pm	29
Shadow diagram June 21st 3pm	30
Site/Waste management plan	31
Erosion & Sediment control	32
Notification plans	33

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Internal axonometric first floor



Internal axonometric ground floor

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Drawing Internal axonometric				Date	S	R	Issued
Project S04054		Sheet 02	Size A3	25.02.18	7	5	Client
				25.03.04	8	C	Add BASIX
				25.03.27	9	C	Council
Address 69 Robinson St N, Wiley Park NSW 2195				25.04.01	10	C	Council



Alterations and Additions

Certificate number: A1785954

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Tuesday, 04 March 2025  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	S04054 Lutfur Ala 69 Robinson St N, Wiley Park NSW 2195
Street address	69 ROBINSON Street WILEY PARK 2195
Local Government Area	Canterbury-Bankstown Council
Plan type and number	Deposited Plan DP313765
Lot number	A
Section number	-
Project type	
Dwelling type	Dwelling house (attached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name: giantA Pty Ltd	
ABN (if applicable): 87 625 554 252	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications			
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	N/A			
floor above existing dwelling or building.	nil	N/A			
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				
flat ceiling, flat roof: framed	ceiling: R2.08 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W01	SE	2.16	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W02	SW	1.44	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D01	SW	3.06	0	0	eave/ verandah/ pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)			
W03	NW	0.72	0	0	awning (adjustable) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W04	NW	0.54	0	0	none	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			

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Drawing BASIX certificate 1		Date	S	R	Issued
Project	S04054	25.02.18	7	5	Client
		25.03.04	8	C	Add BASIX
		25.03.27	9	C	Council
Address	69 Robinson St N, Wiley Park NSW 2195	25.04.01	10	C	Council

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W10	NE	0.72	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W05	SE	0.72	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W06	SE	1.08	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D09	SW	3.67	0	0	eave/ verandah/ pergola/balcony >=900 mm	timber or uPVC, single clear, (or U- value: 5.71, SHGC: 0.66)			
W07	SW	2.16	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W08	NW	1.08	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U- value: 5.7, SHGC: 0.47)			
W09	NW	0.54	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a  in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

The drawing is for **Development application only (DA)**

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Drawing BASIX certificate 2				Date	S	R	Issued
Project S04054				25.02.18	7	5	Client
Sheet 04				25.03.04	8	C	Add BASIX
Size A3				25.03.27	9	C	Council
Address 69 Robinson St N, Wiley Park NSW 2195				25.04.01	10	C	Council

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Single Dwelling

Certificate number: 1785730S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Monday, 03 March 2025  
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary		
Project name	S04054 69 Robinson St N, Wiley Park 2195_granny	
Street address	69 ROBINSON Street WILEY PARK 2195	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	Deposited Plan DP313765	
Lot no.	A	
Section no.	-	
Project type	dwelling house (detached) - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	 46	Target 40
Thermal Performance	 Pass	Target Pass
Energy	 70	Target 68
Materials	 8	Target n/a

Certificate Prepared by
Name / Company Name: giantA Pty Ltd
ABN (if applicable):

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 196.6 square metres of the site.	✔	✔	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 122.07 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"><li>• all toilets in the development</li><li>• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li></ul>		✔ ✔	✔ ✔

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✔	✔	✔
The conditioned floor area of the dwelling must not exceed 300 square metres.	✔	✔	✔
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✔	✔	✔
The dwelling must not contain third level habitable attic room.	✔	✔	✔
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✔	✔	✔
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✔

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, conventional slab.	60	nil;not specified	nil	
garage floor - concrete slab on ground.	19.7	none	nil	
external wall: framed (fibre cement sheet or boards); frame: timber - untreated softwood.	all external walls	3.00 (or 3.50 including construction);fibreglass batts or roll	nil	wall colour: Medium (solar absorptance 0.48-0.7)

Drawing BASIX certificate 3				Date	S	R	Issued
Project		S04054	Sheet 05	Size A3	25.02.18	7	5 Client
					25.03.04	8	C Add BASIX
					25.03.27	9	C Council
Address		69 Robinson St N, Wiley Park NSW 2195			25.04.01	10	C Council

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Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
internal wall shared with garage: plasterboard; frame: timber - untreated softwood.	8.21	nil;fibreglass batts or roll	nil	
internal wall: plasterboard; frame: timber - untreated softwood.	36.79	fibreglass batts or roll	nil	
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - untreated softwood.	122.07	ceiling: 4 (up), roof: foil backed blanket ;ceiling: fibreglass batts or roll; roof: foil backed blanket.	nil	roof space ventilation: unventilated; roof colour: medium (solar absorptance 0.48-0.59); ceiling area fully insulated
Note   • Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.				
Note   • If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.				
Note   • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.				
Note   • Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.				

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✔	✔	✔
The applicant must install at least one ceiling fan in each bedroom.	✔	✔	✔
• The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code .	✔	✔	✔

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✔	✔	✔
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:	✔	✔	✔
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.	✔	✔	✔
• Each window and glazed door must have a U- value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✔	✔
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✔	✔	✔

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North-East facing					
W18	1200.00	1800.00	aluminium, single glazed (U-value: <=5.5, SHGC: 0.49 - 0.60)	eave 550 mm, 600 mm above head of window or glazed door	not overshadowed
South-East facing					
W12	600.00	1800.00	aluminium, single glazed (U-value: <=5.5, SHGC: 0.49 - 0.60)	eave 550 mm, 600 mm above head of window or glazed door	not overshadowed
W13	500.00	1200.00	aluminium, single glazed (U-value: <=5.5, SHGC: 0.49 - 0.60)	eave 550 mm, 600 mm above head of window or glazed door	not overshadowed
South-West facing					

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W14	600.00	900.00	aluminium, single glazed (U-value: <=7.0, SHGC: 0.40 - 0.49)	verandah 2050 mm, 600 mm above base of window or glazed door	not overshadowed
W15	1200.00	1800.00	aluminium, single glazed (U-value: <=5.5, SHGC: 0.49 - 0.60)	verandah 2050 mm, 600 mm above base of window or glazed door	not overshadowed
North-West facing					
W16	600.00	1800.00	aluminium, single glazed (U-value: <=7.0, SHGC: 0.49 - 0.60)	eave 550 mm, 600 mm above head of window or glazed door	not overshadowed
W17	600.00	1800.00	aluminium, single glazed (U-value: <=5.5, SHGC: 0.49 - 0.60)	eave 550 mm, 600 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 7 stars.	✔	✔	✔
Cooling system			
The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✔	✔
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✔	✔
Heating system			
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✔	✔
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development:  At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off  Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off  Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔ ✔ ✔	✔ ✔ ✔
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Other			
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.		✔	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

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Drawing BASIX certificate 4		
Project S04054	Sheet 06	Size A3
Address 69 Robinson St N, Wiley Park NSW 2195		

Date	S	R	Issued
25.02.18	7	5	Client
25.03.04	8	C	Add BASIX
25.03.27	9	C	Council
25.04.01	10	C	Council



Canterbury-Bankstown  
Development Control  
Plan 2023

Chapter 5  
Residential  
Accommodation

5.2  
Former Canterbury LGA  
June 2023



SECTION 2–DWELLING HOUSES AND OUTBUILDINGS

GENERAL OBJECTIVES

- O1 To ensure all neighbourhoods are safe and comfortable.
- O2 To ensure a diversity of well-designed dwellings that are sympathetic to the density and function of each neighbourhood.
- O3 To ensure residential streets and yards are green and leafy, with substantial tree canopy.
- O4 To ensure buildings are adequately setback from existing structures to facilitate household activities and landscaping.
- O5 To ensure that development provides good amenity, solar access and privacy for occupiers of new and existing buildings.
- O6 To ensure that development is of a high quality design, appearance and performance.

SITE PLANNING

2.1 Minimum lot size and frontage

Objectives

- O1 To ensure that land is of an adequate size and shape to accommodate development whilst providing adequate amenity for occupants of the site and surrounds.
- O2 To ensure there is adequate area for vehicle access and parking.
- O3 To ensure sites have sufficient dimensions to accommodate adequate landscaped open spaces.

Development controls

- C1 The minimum primary street frontage width for dwelling houses is 15m.
- C2 Lots must be generally rectangular.

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- C3** Internal and battle-axe blocks and lots with irregular dimensions or shallow depths must satisfy the objectives of the DCP.
- C4** Nothing in this section prevents Council giving consideration to the erection of a dwelling house on an allotment of land which existed as of 1 January 2013.

**2.2 Site coverage**

**Objectives**

- O1** To ensure that the scale and mass of development achieves improved levels of residential amenity for new development and for existing dwellings.
- O2** To ensure there is adequate unbuilt upon areas to allow for private open space, substantial landscaped areas and deep soil planting capable of supporting large trees.

**Development controls**

- C1** All development must comply with the numerical requirements contained in the table below:

Site Area	Maximum area of building footprint	Maximum floor area of all outbuildings	Maximum site coverage of all structures on a site
Up to 449m <sup>2</sup>	300m <sup>2</sup>	30m <sup>2</sup>	60%
450m <sup>2</sup> to 599m <sup>2</sup>	330m <sup>2</sup>	45m <sup>2</sup>	50%
600m <sup>2</sup> to 899m <sup>2</sup>	380m <sup>2</sup>	60m <sup>2</sup>	40%
900m <sup>2</sup> or above	430m <sup>2</sup>	60m <sup>2</sup>	40%

Table 1: Maximum building footprint, floor area of outbuildings and site coverage

**2.3 Landscaping**

**Objectives**

- O1** To ensure new development is appropriately landscaped to provide a pleasant outlook and contribute to the amenity of a property.
- O2** To minimise stormwater run-off by retaining deep soil areas that facilitate rainwater infiltration.



**Development controls**

- C1** Deep soil permeable areas must be provided in accordance with the table below:

Site area	Minimum deep soil area (% of site area)
Up to 449m <sup>2</sup>	15%
450m <sup>2</sup> to 599m <sup>2</sup>	20%
600m <sup>2</sup> or above	25%

Table 2: Minimum deep soil areas

- C2** Deep soil areas must have a minimum dimension of 2.5m.

**2.4 Layout and orientation**

**Objectives**

- O1** To encourage a more sustainable urban environment where energy efficiency is incorporated into the design, construction and use of buildings.
- O2** To reduce consumption of energy from non-renewable sources, and reduced greenhouse gas emissions.

**Development controls**

- C1** Orientate development to maximise solar access and natural lighting, without unduly increasing the building's heat load.
- C2** Site the development to avoid casting shadows onto a neighbouring dwelling's primary living area, private open space and solar cells.
- C3** Coordinate design for natural ventilation with passive solar design techniques.
- C4** Site new development and private open space to avoid existing shadows cast from nearby buildings.
- C5** Site a building to take maximum benefit from cross-breezes and prevailing winds.
- C6** Do not compromise the creation of casual surveillance of the street, communal space and parking areas, through the required orientation.

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**BUILDING ENVELOPE**

**2.5 Height**

The maximum permissible height of a building is prescribed in the LEP and varies across residential zones. The definition of height of building is defined under LEP. Operating in conjunction with the LEP height of building control, external wall height and storey provisions in this DCP prescribe the maximum height for the external enclosing walls of a building. Note: Development adjacent to, or in the vicinity of, a heritage item may preclude achievement of maximum building heights.

**Objectives**

- O1** To ensure that development is of a scale that is visually compatible with adjacent buildings, character of the area, and the objectives of the zone.

**Development controls**

- C1** Development for the purposes of dwelling houses must not exceed the following numerical requirements:
- (a) A maximum two storey built form.
  - (b) A maximum external wall height of 7m where the maximum height of buildings standard under the LEP is **8.5m**.
  - (c) A maximum external wall height of 8m where the maximum height of building standard under the LEP is 9.5m.
  - (d) Finished ground floor level is not to exceed 1m above the natural ground level. Note: Skillion and flat roof forms will be considered on merit.

Basement and sub-floor projection

- C2** Any part of a basement or sub-floor area that projects greater than 1m above ground level comprises a storey.

Attics and roof terraces

- C3** Attics and mezzanine floors do not comprise a storey.
- C4** Roof top terraces are not acceptable on any building or outbuilding in any residential zone.

Basement and sub-floor

- C5** Dwelling houses may provide basement or subfloor parking where site constraints warrant and it can be demonstrated that there will be no adverse impacts on amenity, streetscape or public domain.



- C6** Basement and sub-floor parking is only suitable where compliance with Chapter 3.2 of this DCP can be demonstrated.

Retaining walls – Development without basement parking

- C7** Walls that would enclose a sub-floor area:
- (a) Maximum 2m for steeply sloping land; and
  - (b) Maximum 1m for all other land.
- C8** Retaining walls that would be located along, or immediately adjacent to, any boundary:
- (a) Maximum 3m for steeply sloping land, but only to accommodate a garage that would be located at street level; and
  - (b) Maximum 1m for all other land.

Cut and fill – Development without basement parking

- C9** Maximum 1m cut below ground level where it will extend beyond an exterior wall of the building.
- C10** No limit to cut below ground level where it will be contained entirely within the exterior walls of a building, however, excavated area is not to accommodate any habitable room that would be located substantially below ground level.
- C11** Maximum 600mm fill above ground level where it would extend beyond an exterior wall of a building.
- C12** If proposed cut and fill, or a retaining wall, would be deeper or higher than 1m, structural viability must be confirmed by suitably qualified engineers' reports.

**2.6 Setbacks**

**Objectives**

- O1** To establish the desired spatial proportions of the street and define the street edge.
- O2** To limit the scale and bulk of development by retaining landscaped open space around.
- O3** To contribute to the natural landscape by retaining adequate space for new trees and conserving existing visually prominent trees.
- O4** To provide sufficient separation between buildings and adjacent land to limit the visual, environmental and likely potential amenity impacts of new development.

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Development controls

Front, side and rear setbacks

- C1 Development, including basement and sub-floor areas, fronting a major road must have a minimum front setback of 9m.
- C2 Development must comply with the minimum front, side and rear setbacks as detailed in the following tables:

Setback	Controls
Front Setback	<ul style="list-style-type: none"><li>Minimum setback of 5.5m from the front boundary.</li><li>Maximum 2m recess for the main entrance from the front building line.</li><li>Where the existing front setback is less than 5.5m, further encroachments by alterations and additions are not acceptable.</li></ul>
Side Setbacks	<ul style="list-style-type: none"><li>Minimum setback of 900mm from side boundaries.</li><li>Alterations and additions may be in line with the existing ground level walls.</li></ul>
Rear Setbacks	<ul style="list-style-type: none"><li>Minimum setback of 6m from the rear boundary.</li></ul>

Table 3: Dwelling houses with frontage of 12.5m or less

Setback	Controls
Front Setback	<ul style="list-style-type: none"><li>Minimum setback of 6m or the average of the existing setback of the nearest dwelling house to either side of the site.</li><li>Maximum 2m recess for the main entrance from the front building line.</li></ul>
Side Setbacks	<ul style="list-style-type: none"><li>Minimum setback of minimum setback of 1m from side boundaries.</li><li>Corner lots: minimum setback of 2m from the secondary street frontage (the longer street boundary).</li></ul>
Rear Setbacks	<ul style="list-style-type: none"><li>Minimum setback of 6m from the rear boundary.</li></ul>

Table 4: Dwelling houses with frontages widths of 12.5m or greater

Setback	Controls
Side Setbacks	<ul style="list-style-type: none"><li>External wall height over 2.7m a minimum setback of 450mm from the side boundary.</li><li>External wall height not exceeding 2.7m may encroach into the minimum setback area.</li></ul>

Table 5: Outbuildings (including alterations and additions)



Exceptions and other requirements

- C3 External walls that enclose rooms, storage areas and/or garages are not to encroach beyond the specified setbacks.
- C4 For first floor additions, front and side setbacks may match the ground floor wall alignment of the existing dwelling for a depth of 10m or 50% of the length of the facade, whichever is the greater.
- C5 Minimum setback of 1m from any side or rear boundary for swimming pools and associated terraces. Landscaping shall be provided in the setback area to screen the pool from neighbours.
- C6 Swimming pools must not be located within any front setback.
- C7 One garage or carport may be constructed with a nil rear setback for sites that adjoin a rear laneway. The garage or carport must not comprise more than 50% of the rear boundary frontage to a lane and not be wider than 6m.
- C8 For a residential building that does not have basement parking lightweight carports may extend beyond the required side boundary setback.
- C9 Car parking structures must satisfy the Building Code of Australia requirements.
- C10 For existing dwelling houses, a single space carport may encroach beyond the minimum front setback, where it can be demonstrated that:
- (a) there is no existing garage on the site;
  - (b) there is no side or rear vehicle access to the site;
  - (c) the site does not contain a heritage item or is not within a heritage conservation area or local character area;
  - (d) the site is in the vicinity of existing, approved carports on adjacent sites that are forward of the front building line;
  - (e) the maximum width of the single carport is 3m;
  - (f) it is of a simple posted design, with no side panel infill;
  - (g) there is no solid panel lift or roller shutter door proposed;
  - (h) the carport is setback a minimum 1m from the primary and secondary street frontages;
  - (i) the carport achieves a high quality design and has a roof design that is compatible with the dwelling house.

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						Date	25.03.27	9	C Council
Address	69 Robinson St N, Wiley Park NSW 2195					Date	25.04.01	10	C Council





- C11** On land identified as having a height of 9.5m on the Map, the following parking structures may encroach beyond the minimum front or side setback:
- (a) One carport that is not wider than 6m.
  - (b) On sites that rise from the street frontage, one garage that is not wider than 6m and no higher than 3m above street level.
- C12** The following minor building elements may project up to 1m into the minimum side setback area:
- (a) Roof eaves, awnings, pergolas and patios;
  - (b) Stair or ramp access to the ground floor;
  - (c) Rainwater tanks; and
  - (d) Terraces above basement parking that are no higher than 1m above ground level (except dwelling houses, semi-detached dwellings and dual occupancy).
- C13** Elements that articulate a front elevation of a dwelling house, such as awnings, balconies, patios, pergolas, porches, porticoes and verandas, may project up to 1.5m into the required front setback articulation zone.
- C14** On steeply sloping land basements and basement parking are acceptable only if they:
- (a) Do not extend beyond the exterior walls or ground floor patios of the dwelling.
  - (b) Accommodate only entrance lobby, stairway, car parking or storage, but do not accommodate any habitable room.
  - (c) Are not capable of future alteration to accommodate any habitable room.

**2.7 Building separation**

**Objectives**

- O1** To promote improved levels of residential amenity for new and existing development, including to preserve sunlight, privacy and general amenity for existing buildings.
- O2** To ensure that development is of a scale that is visually compatible with adjacent buildings, character of the area, and the objectives of the zone.

**Development controls**

- C1** The following controls apply to alterations and additions to dwelling houses:
- (a) The top storey of any two-storey building should be designed, as a series of connected pavilion elements.
  - (b) Pavilion elements shall have a depth between 10m to 15m.
  - (c) Articulate pavilion elements by an additional side boundary setback, and identified by separate roofs.



**SECTION 7–SECONDARY DWELLINGS**

Secondary dwelling is defined under LEP. Secondary dwellings can be carried out under *State Environmental Planning Policy (Housing) 2021* and the LEP. Where a development application is required, an assessment of the relevant provisions of the Affordability SEPP and LEP will be undertaken.

Minimum frontage controls in this DCP supplement the LEP provisions to ensure only sites with suitable dimensions capable of providing adequate residential amenity are developed.

**Objectives**

- O1** To ensure that land to be developed is of an adequate size and shape to accommodate development whilst providing adequate amenity for occupants of the site and surrounds.
- O2** To ensure there is adequate area for vehicle access and parking.
- O3** To ensure sites have sufficient dimensions to accommodate adequate landscaped open spaces.

**Development controls**

- C1** Where a development application to Council is made for a secondary dwelling, the minimum frontage required for secondary dwellings will be considered on merit taking into consideration compliance with Canterbury City Council’s Secondary Dwelling (Granny Flat) Policy (adopted on 15 October 2009 by CDC Minute 295).
- C2** All development applications for secondary dwellings will be assessed against schedule 1 of the ARH SEPP 2009.

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Schedule 1 Complying development—secondary dwellings

section 54(2)(d)



State Environmental Planning Policy (Housing) 2021

under the  
Environmental Planning and Assessment Act 1979

Her Excellency the Governor, with the advice of the Executive Council, has made the following State environmental planning policy under the *Environmental Planning and Assessment Act 1979*.

ROB STOKES, MP  
Minister for Planning and Public Spaces

Part 1 Preliminary

1 Definitions

- (1) In this Schedule—  
  
*ancillary structure* means the following, if associated with a secondary dwelling and not exempt development under the Codes SEPP—  
  
(a) an access ramp,  
  
(b) an awning, blind or canopy,  
  
(c) a balcony, deck, patio, pergola, terrace or verandah attached to a principal or secondary dwelling,  
  
(d) a carport attached to a principal or secondary dwelling,  
  
(e) a driveway, pathway or paving,  
  
(f) a fence or screen,  
  
(g) a garage attached to a principal or secondary dwelling,  
  
(h) an outbuilding,  
  
(i) a rainwater tank attached to a principal or secondary dwelling,  
  
(j) a retaining wall,  
  
(k) a swimming pool or spa pool and child-resistant barrier.  
  
*outbuilding* means the following, if detached from a principal or secondary dwelling—  
  
(a) a balcony, deck, patio, pergola, terrace or verandah,  
  
(b) a cabana, cubby house, fernery, shed, gazebo or greenhouse,  
  
(c) a carport or garage,  
  
(d) a rainwater tank (above ground),  
  
(e) a shade structure.  
  
(2) Unless defined in this Schedule, words used in this Schedule have the same meaning as in—  
  
(a) the Codes SEPP, and  
  
(b) for words not defined in the Codes SEPP—the standard instrument.  
  
(3) In this Schedule, the area of the access laneway for a battle-axe lot is excluded in calculating the area of the lot.

Part 2 Site requirements

2 Lot requirements

- (1) Development for the purposes of a secondary dwelling or an ancillary structure may only be carried out on a lot that—  
  
(a) at the completion of the development will have only 1 principal dwelling and 1 secondary dwelling, and  
  
(b) for a lot other than a battle-axe lot—has a boundary with a primary road, measured at the building line, of at least the following—  
  
(i) if the lot has an area of at least 450m<sup>2</sup> but not more than 900m<sup>2</sup>—12m,  
  
(ii) if the lot has an area of more than 900m<sup>2</sup> but not more than 1500m<sup>2</sup>—15m,  
  
(iii) if the lot has an area of more than 1500m<sup>2</sup>—18m, and

<https://legislation.nsw.gov.au/view/html/inforce/current/epi-2021-0714#sch.1>

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15/01/2025, 10:25State Environmental Planning Policy (Housing) 2021 - NSW Legislation

(b) for a lot with an area of more than 600m<sup>2</sup> but not more than 1,500m<sup>2</sup>—3m, or

(c) for a lot with an area of more than 1,500m<sup>2</sup>—5m.

(4) For the purposes of this section, if a lot is a corner lot—

(a) a boundary that is at least 6m in length is taken to be a boundary with a primary road, and

(b) the other boundaries are taken to be boundaries with a secondary road.

(5) For the purposes of this section, if a lot has contiguous boundaries with a road or roads but is not a corner lot, the lot is taken to have a boundary only with a primary road.

8 Setbacks from classified roads

Development for the purposes of a secondary dwelling or an ancillary structure must not result in a new building or a new part of an existing building having a setback from a boundary with a classified road of less than—

- (a) if another environmental planning instrument applying to the lot establishes a setback for a dwelling house having a boundary with a classified road—the setback specified in the environmental planning instrument, or
- (b) otherwise—9m.

9 Setbacks from side boundaries

- (1) Development for the purposes of a secondary dwelling or an ancillary structure must not result in a new building or a new part of an existing building or a new carport, garage, balcony, deck, patio, pergola, terrace or verandah having a setback from a side boundary of less than the following—

(a) for a lot with an area of at least 450m<sup>2</sup> but not more than 900m<sup>2</sup>—0.9m,

(b) for a lot with an area of more than 900m<sup>2</sup> but not more than 1,500m<sup>2</sup>—1.5m,

(c) for a lot with an area of more than 1,500m<sup>2</sup>—2.5m.
- (2) Development for the purposes of a secondary dwelling or an ancillary structure must not result in a new building or ancillary structure having a setback from a side boundary of less than the sum of—

(a) the amount of the setback specified for the relevant sized lot in subsection (1), and

(b) an amount equal to 25% of the additional building height above 3.8m.
- (3) In this section—

*new building or ancillary structure* means—

(a) a new building or a new part of an existing building with a height of more than 3.8m, and

(b) a new carport, garage, balcony, deck, patio, pergola, terrace or verandah.
- 10 Setbacks from rear boundaries
- (1) Development for the purposes of a secondary dwelling or an ancillary structure must not result in a new building, a new part of an existing building or a new carport, garage, balcony, deck, patio, pergola, terrace or verandah having a setback from a rear boundary of less than the following—

(a) for a lot with an area of at least 450m<sup>2</sup> but not more than 900m<sup>2</sup>—

(i) 3m, and

(ii) if the development results in a new or existing building with a height of more than 3.8m—an additional amount equal to 3 times the height above 3.8m, up to a maximum setback of 8m,

(b) for a lot with an area of more than 900m<sup>2</sup> but not more than 1,500m<sup>2</sup>—

(i) 5m, and

(ii) if the development results in a new or existing building with a height of more than 3.8m—an additional amount equal to 3 times the height above 3.8m, up to a maximum setback of 12m,

(c) for a lot with an area of more than 1,500m<sup>2</sup>—

<https://legislation.nsw.gov.au/view/html/inforce/current/epi-2021-0714#sch.1>

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(i) 10m, and

(ii) if the development results in a new or existing building with a height of more than 3.8m—an additional amount equal to 3 times the height above 3.8m, up to a maximum setback of 15m.

(2) A dwelling on a lot with a rear boundary with a laneway may have a building line that abuts the boundary for up to 50% of the length of the boundary.

11 Exceptions to setbacks

(1) Development for the purposes of a secondary dwelling must not result in a new building or a new part of an existing building having a setback of less than 3m from a boundary with a public reserve.

(2) Side and rear setbacks do not apply to the following—

(a) an aerial, antenna, awning or eave,

(b) a flue, chimney, pipe or cooling or heating appliance,

(c) a rainwater tank with a height of more than 1.8m,

(d) another structure associated with the provision of a utility service if it is located at least 450mm from the relevant boundary,

(e) a fence, fascia, gutter, downpipe, light fitting, an electricity or gas meter, a driveway, pathway or paving if it is located within a required setback area to the relevant boundary.

(3) The setback from a road does not apply to—

(a) a driveway, fence, pathway, paving or retaining wall, or

(b) the articulation zone and a building element permitted within the zone.

(4) The setback from a rear boundary required by this Schedule, section 10 does not apply to a lot that has only 3 boundaries, disregarding a boundary of an access lane if the lot is a battle-axe lot.

12 Calculating setbacks

(1) For the purposes of determining the 2 nearest dwelling houses in this Schedule, section 7, a dwelling house located on a battle-axe lot must be disregarded.

(2) For the purposes of calculating the setback of the 2 nearest dwelling houses in this Schedule, section 7—

(a) an ancillary structure must not be included, and

(b) a building element within the articulation zone must not be included.

(3) For the purposes of calculating the setbacks for a battle-axe lot, the setback on the opposite side of the lot to the rear setback is taken to be a side setback.

(4) For the purposes of calculating the setbacks for an attached secondary dwelling, the height of the secondary dwelling is the vertical distance from ground level (existing) to the highest point of the secondary dwelling.

(5) For the purposes of calculating a side or rear setback, the maximum building height of a dwelling on a sloping lot must be used.

(6) A setback must be calculated at the closest point to the boundary from the building line.

13 Building articulation

(1) Development for the purposes of a secondary dwelling, other than development on a battle-axe lot, must result in either the principal dwelling or the secondary dwelling having a front door and a window to a habitable room in the building wall that faces a primary road.

(2) Development for the purposes of a secondary dwelling, other than development on a battle-axe lot, must result in either the principal dwelling or the secondary dwelling having a window to a habitable room in the building wall that faces a parallel road.

(3) A secondary dwelling, other than a secondary dwelling that has a setback from a primary road of less than 3m, may incorporate an articulation zone that extends from the building line to a distance of 1.5m into the required setback from the primary road.


<https://legislation.nsw.gov.au/view/html/inforce/current/epi-2021-0714#sch.1>

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Drawing State EnvironmentalPlanning Policy (housing) 2021 3				Date	S	R	Issued
Project S04054		Sheet	14	Size	A3	25.02.18	7 5 Client
						25.03.04	8 C Add BASIX
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						25.04.01	10 C Council

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14 Building elements within the articulation zone to a primary road

- (1) The following building elements are permitted in an articulation zone in the setback from a primary road—
- (a) an entry feature or portico,

(b) a balcony, deck, patio, pergola, terrace or verandah,

(c) a window box treatment,

(d) a bay window or similar feature,

(e) an awning or other feature over a window,

(f) a sun shading feature.
- (2) A building element must not extend above the eave gutter line, other than a pitched roof to an entry feature or portico that has the same pitch as the roof on the building.
- (3) The maximum total area of all building elements within the articulation zone, other than a building element specified in subsection (1)(e) or (f), must be no more than 25% of the area of the articulation zone.

15 Privacy

- (1) A window in a new secondary dwelling, or a new window in an alteration or addition to an existing principal dwelling for the purposes of a new secondary dwelling, must have a privacy screen for a part of the window less than 1.5m above the finished floor level if—
- (a) the window—

(i) is in a habitable room that has a finished floor level of more than 1m above ground level (existing), and

(ii) has a sill height less than 1.5m above that floor level, and

(iii) faces a side or rear boundary and is less than 3m from that boundary, or
- (b) the window—

(i) is in a habitable room that has a finished floor level of more than 3m above ground level (existing), and

(ii) has a sill height less than 1.5m above that floor level, and

(iii) faces a side or rear boundary and is at least 3m, but no more than 6m, from that boundary.
- (2) Subsection (1) does not apply to a window located in a bedroom where the window has an area of no more than 2m<sup>2</sup>.
- (3) A new balcony, deck, patio, terrace or verandah for the purposes of a new secondary dwelling and any alteration to an existing balcony, deck, patio, terrace or verandah of a secondary dwelling that has a floor area of more than 3m<sup>2</sup> must have a privacy screen if the balcony, deck, patio, terrace or verandah is—
- (a) within 3m of a side or rear boundary and has a floor level of more than 1m above ground level (existing), or

(b) between 3m and 6m of a side or rear boundary and has a floor level of more than 2m above ground level (existing).
- (4) A privacy screen required under subsection (3) must be installed—
- (a) to a height of at least 1.7m, but not more than 2.2m, above the finished floor level of the balcony, deck, patio, terrace or verandah, and

(b) at the edge of the part of the development within the areas specified in subsection (3)(a) or (b) and is parallel to or faces towards the relevant side or rear boundary.

Part 4 Landscaping

16 Landscaped area

- (1) A lot on which development for the purposes of a secondary dwelling or an ancillary structure is carried out must have a landscaped area of at least the following—
- (a) for a lot with an area of at least 450m<sup>2</sup> but not more than 600m<sup>2</sup>—20%,

(b) for a lot with an area of more than 600m<sup>2</sup> but not more than 900m<sup>2</sup>—25%,

(c) for a lot with an area of more than 900m<sup>2</sup> but not more than 1500m<sup>2</sup>—35%,

(d) for a lot with an area of more than 1500m<sup>2</sup>—45%.
- (2) At least 50% of the landscaped area must be located behind the building line to the primary road boundary.
- (3) The minimum dimensions of the landscaped area must be more than 2.5m.

17 Principal private open space

- (1) A lot on which development for the purposes of a secondary dwelling is carried out must have more than 24m<sup>2</sup> of principal private open space.
- (2) The principal private open space may be shared by both the principal dwelling and secondary dwelling and may be in the form of a balcony or deck.
- (3) In this section—
- principal private open space* means an area—

(a) directly accessible from, and adjacent to, a habitable room, other than a bedroom, and

(b) more than 4m wide, and

(c) not steeper than a 1:50 gradient.

Part 5 Earthworks and drainage

18 Earthworks, retaining walls and structural support

- (1) Excavation for the purposes of a secondary dwelling or an ancillary structure must not be deeper than a maximum depth, measured from ground level (existing), of—
- (a) if located no more than 1m from any boundary—1m, or

(b) if located more than 1m but not more than 1.5m from any boundary—2m, or

(c) if located more than 1.5m from any boundary—3m, or

(d) if the land is identified as Class 3 or 4 on an Acid Sulfate Soils Map or is within 40m of a waterbody (natural)—1m.
- (2) Fill must not have more than a maximum height, measured from ground level (existing), of—
- (a) if the fill is for the purposes of a secondary dwelling—1m, or

(b) if the fill is for the purposes of an ancillary structure—600mm.
- (3) The height of fill contained wholly within the footprint of a secondary dwelling or an ancillary structure is not limited.
- (4) Fill that is higher than 150mm above ground level (existing) and is not contained wholly within the footprint of a secondary dwelling or an ancillary structure is limited to 50% of the landscaped area of the lot.
- (5) The ground level (finished) of the fill must not be used to measure the height of any secondary dwelling or an ancillary structure under this code.
- (6) Support for earthworks more than 600mm above or below ground level (existing) must take the form of a retaining wall or other structural support that—
- (a) a professional engineer has certified is structurally sound, including the ability to withstand the forces of lateral soil load, and

Drawing State EnvironmentalPlanning Policy (housing) 2021 4				Date	S	R	Issued
Project		S04054	Sheet	15	Size	A3	25.02.18 7 5 Client
							25.03.04 8 C Add BASIX
							25.03.27 9 C Council
Address		69 Robinson St N, Wiley Park NSW 2195					25.04.01 10 C Council



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(b) has been designed so as not to redirect the flow of any surface water or ground water, or cause sediment to be transported, onto an adjoining property, and

(c) has adequate drainage lines connected to the stormwater drainage system for the site, and

(d) does not result in a retaining wall or structural support with a total height measured vertically from the base of the retaining wall or structural support to its uppermost portion that is more than the height of the associated excavation or fill, and

(e) is separated from any other retaining wall or structural support on the site by at least 2m, measured horizontally, and

(f) has been installed in accordance with any manufacturer’s specifications, and

(g) if it is an embankment or batter—must have its toe or top more than 1m from any side or rear boundary.

Note—

Fill and excavation not associated with a building may be exempt development under the Codes SEPP, clauses 2.29 and 2.30.

- 19 Drainage
- (1) All stormwater collecting as a result of development for the purposes of a secondary dwelling or an ancillary structure must be conveyed by a gravity fed or charged system to—

(a) a public drainage system, or

(b) an inter-allotment drainage system, or

(c) an on-site disposal system.

(2) All stormwater drainage systems within a lot and the connection to a public or an inter-allotment drainage system must—

(a) if an approval is required under the *Local Government Act 1993*, section 68—be approved under the Act, or

(b) otherwise—comply with requirements for the disposal of stormwater drainage contained in a development control plan applicable to the land.

- 20 Setbacks of secondary dwellings and ancillary structures from protected trees
- (1) Development for the purposes of a secondary dwelling, all ancillary structures and associated excavation on a lot, must have a setback from a protected tree on the lot of at least 3m.

(2) The following ancillary structures are permitted within the setback if the development does not require a cut or fill of more than 0.15m below or above ground level (existing)—

(a) an access ramp,

(b) a driveway, pathway or paving,

(c) an awning, blind or canopy,

(d) a fence, screen or child-resistant barrier associated with a swimming pool or spa pool.

(3) In this section—

*protected tree* means a tree that requires a separate permit or development consent for pruning or removal, but does not include a tree that may be removed without development consent under Chapter 3.

Note—

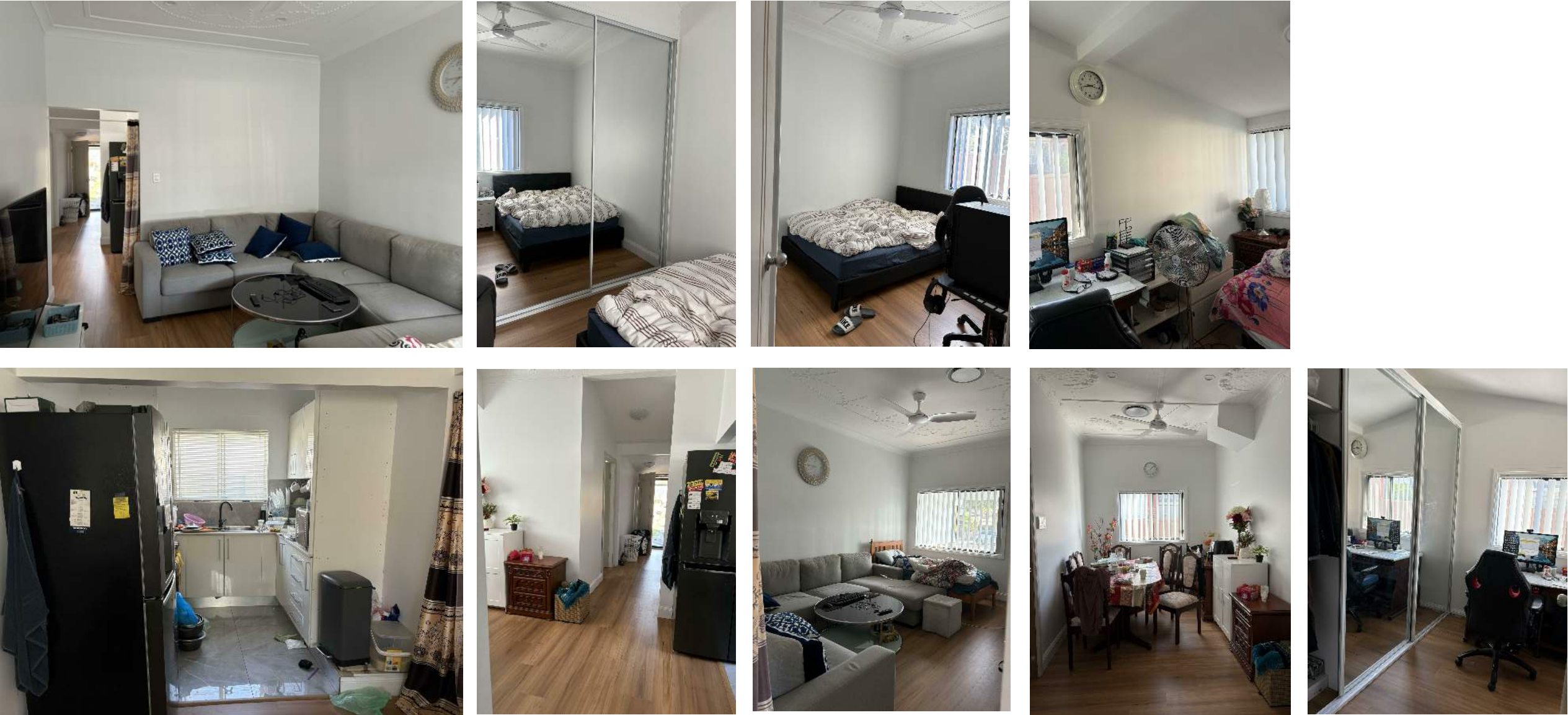
A separate permit or development consent may be required if the branches or roots of a protected tree on the lot or on adjoining land are required to be pruned or removed.

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Drawing	State EnvironmentalPlanning Policy (housing) 2021 5	Date	S	R	Issued
		25.02.18	7	5	Client
Project	S04054	25.03.04	8	C	Add BASIX
		25.03.27	9	C	Council
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Internal



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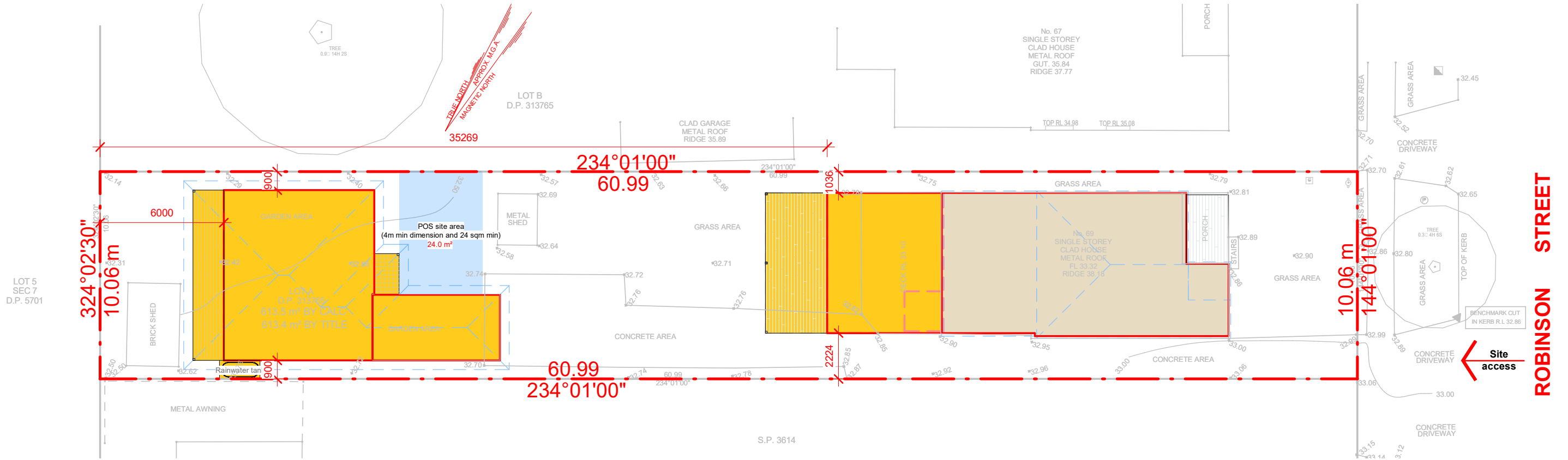
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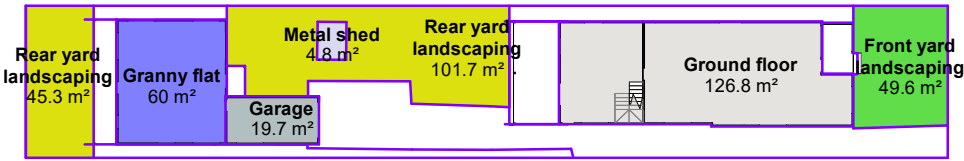




1 Site plan  
Scale: 1 : 200

Site legend

- Site access
- Boundary line
- The sewer line
- Roof/skylight/structure above
- To be demolished
- Existing footprint/works/building envelope
- Proposed footprint/works/building envelope
- Private open space



2 Area ground floor plan

Scale: 1 : 500

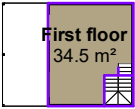
- Ground floor
- Garage
- Granny flat
- First floor
- Metal shed
- Front yard landscaping
- Rear yard landscaping

Area schedule

Name	Area
Ground floor	126.8 m <sup>2</sup>
Front yard landscaping	49.6 m <sup>2</sup>
Rear yard landscaping	101.7 m <sup>2</sup>
Metal shed	4.8 m <sup>2</sup>
First floor	34.5 m <sup>2</sup>
Granny flat	60.0 m <sup>2</sup>
Garage	19.7 m <sup>2</sup>
Rear yard landscaping	45.3 m <sup>2</sup>

3 Area first floor plan

Scale: 1 : 500



Location plan

Development parameters for house alteration

Site calculations	Condition/Description	Parameters	Compliance
Combined lot floor area	Calculated from the inside surface of the outer wall Garage GFA excludes 1 car parking space (18m <sup>2</sup> ) Include storage areas & staircase in basement if involve Excludes: Vehicle access, Terraces & Balconies with outer walls <1.4m high and Voids Apply with single dwelling only	227.8 m <sup>2</sup>	380.0 m <sup>2</sup>
Minimum landscape	(Landscape area: front setback + landscape area: behind building line setback)/Site area x 100	32.0%	25.0%
Landscaped area behind building line	Area landscaping behind the building line/Total landscaping X 100	77.1%	50.0%

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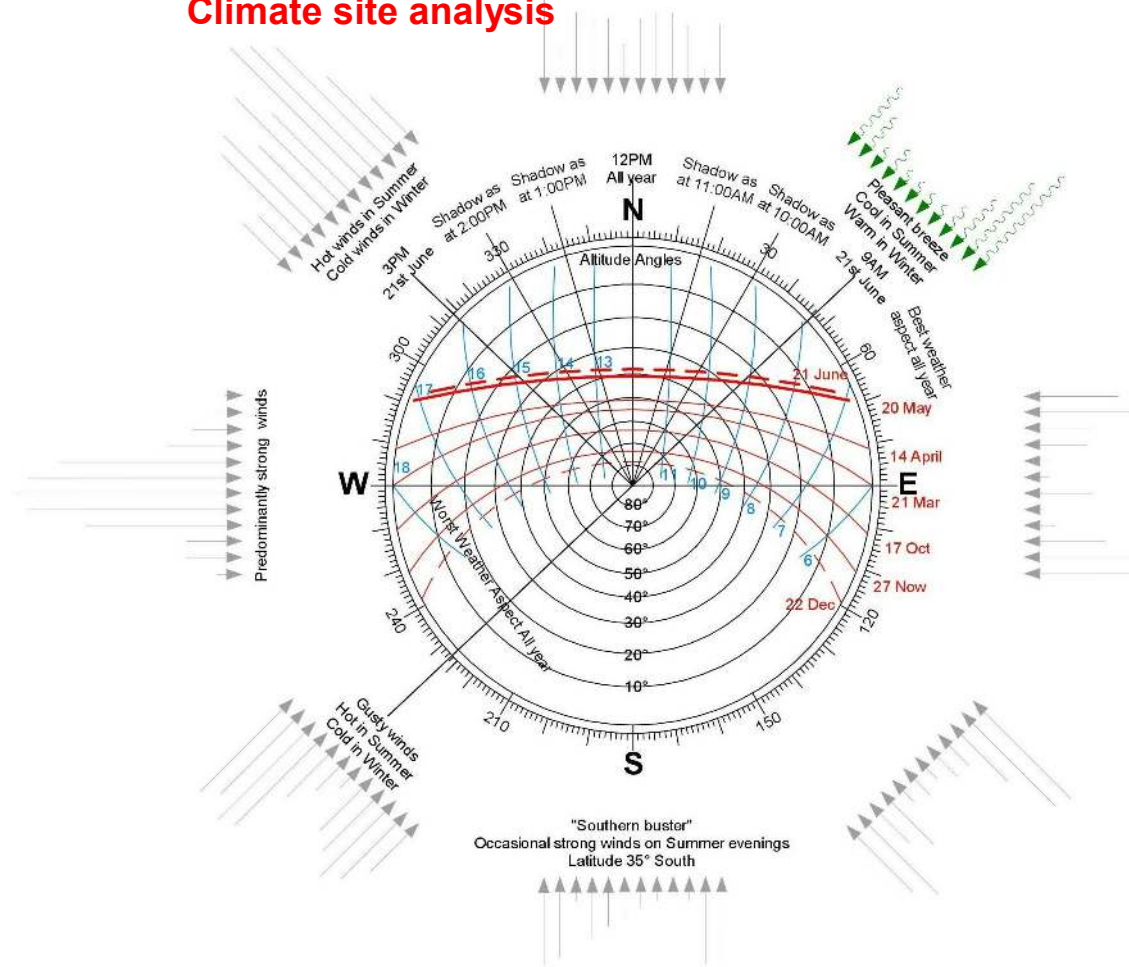


1 Site analysis plan

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Scale: 1 : 200

Climate site analysis



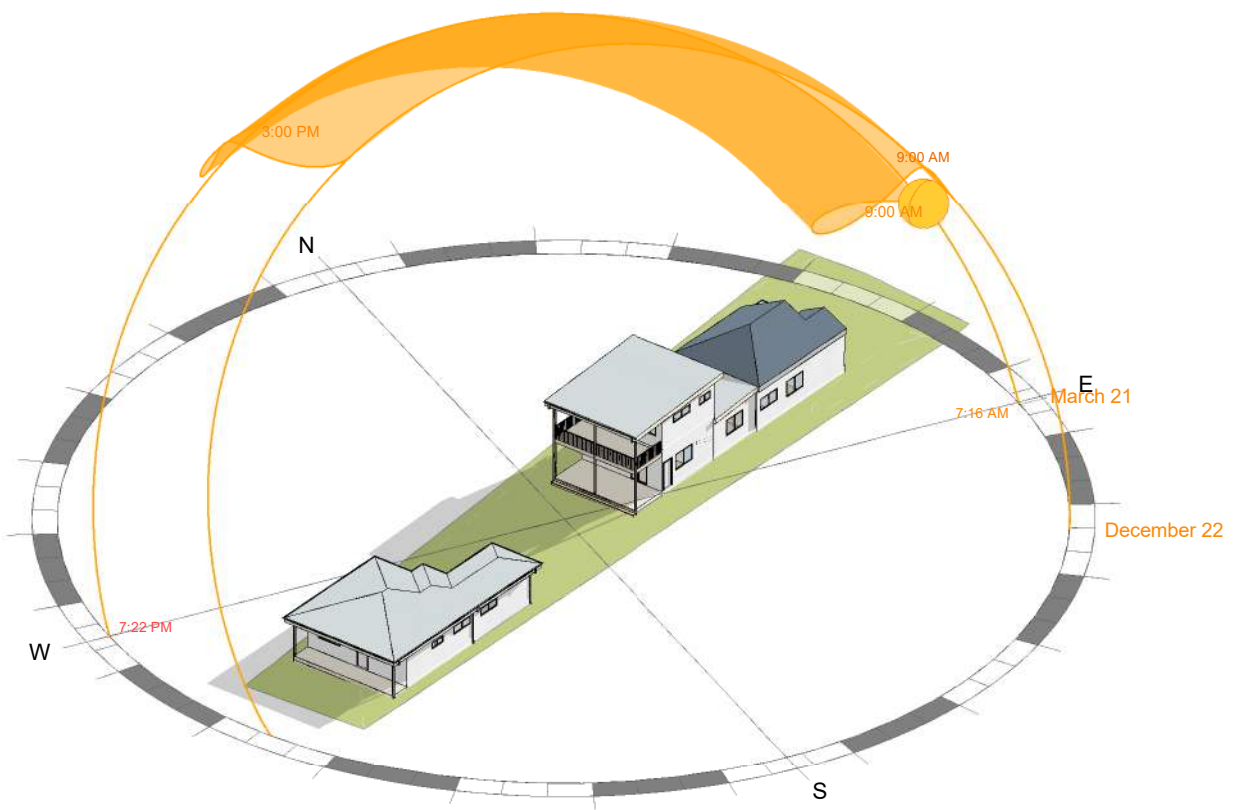
Site analysis legend

- Wind direction
- Boundary line
- The sewer line
- Roof/skylight/structure above
- Existing footprint/works/building envelope
- Proposed footprint/works/building envelope

Note

- The wind rose shown corresponds with the 12 months in the year
- The lines are read in a clockwise direction
- The length of the line is proportionate to the frequency (% of time) of the wind from that direction in that month
- 9am shown in black & 1pm shown in red
- The sun path diagram shown in the centre of the wind rose indicates the path scribed by the sun during different periods of the year
- The hours of the day are shown in blue
- The months of the year are indicated using the red lines
- The concentric circles indicate the angles of the sun
- The Compass is based upon 'True North', from the Map Grid Australia (MGA)
- True North based on survey completed by "surveyor" surveying "date" comments are for Sydney Basin

Solar analysis



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		25.03.27	9	C	Council
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### Materials legend

Existing stud timber	
Existing framed (weatherboard/fibro/metal clad)	
Existing cavity brick	
Solid timber or laminated product made from layers of timber, bonded together	
Concrete slab supported on foundations or directly on the subsoil	
New stud timber	
New framed (weatherboard/fibro/metal clad)	
New cavity brick	
Solid timber or laminated product made from layers of timber, bonded together	
Replace new finish material refer to materials schedule	

### Annotate legend

Fix	FW
Awning	AW
Sliding window	SLW
Highlight window	SL-HLW
Bi-fold	BF
Sliding	SL
Cavity sliding	CSL
Single swing	SW
Double swing	DS
Overheadroller	RL
Floor waste	FW
Exhaust fan	EF
Mechanical ventilation as per part 3.8 of the BCA	MV
Reduced level	RL:00
Smoke alarm	SA
To be demolished	
Roof/skylight/structure above	
Floor/void/walls below/above	
Revision cloud	
D : Door W: Width	D 1
W: Window H: Height	W ...
A : Revision number	A
yy.mm.dd : Revision date	yy.mm.dd

### Room schedule

Name	Area
Bath/L'dry	10 m²
Bed 1	12 m²
Bed 2	10 m²
Bed 3	12 m²
Dining	10 m²
Kitchen	6 m²
Living	15 m²
Porch	7 m²
Grand total	82 m²

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Drawing Existing/Demolish/Proposed ground floor plan

Project **S04054** Sheet **20** Size **A3**

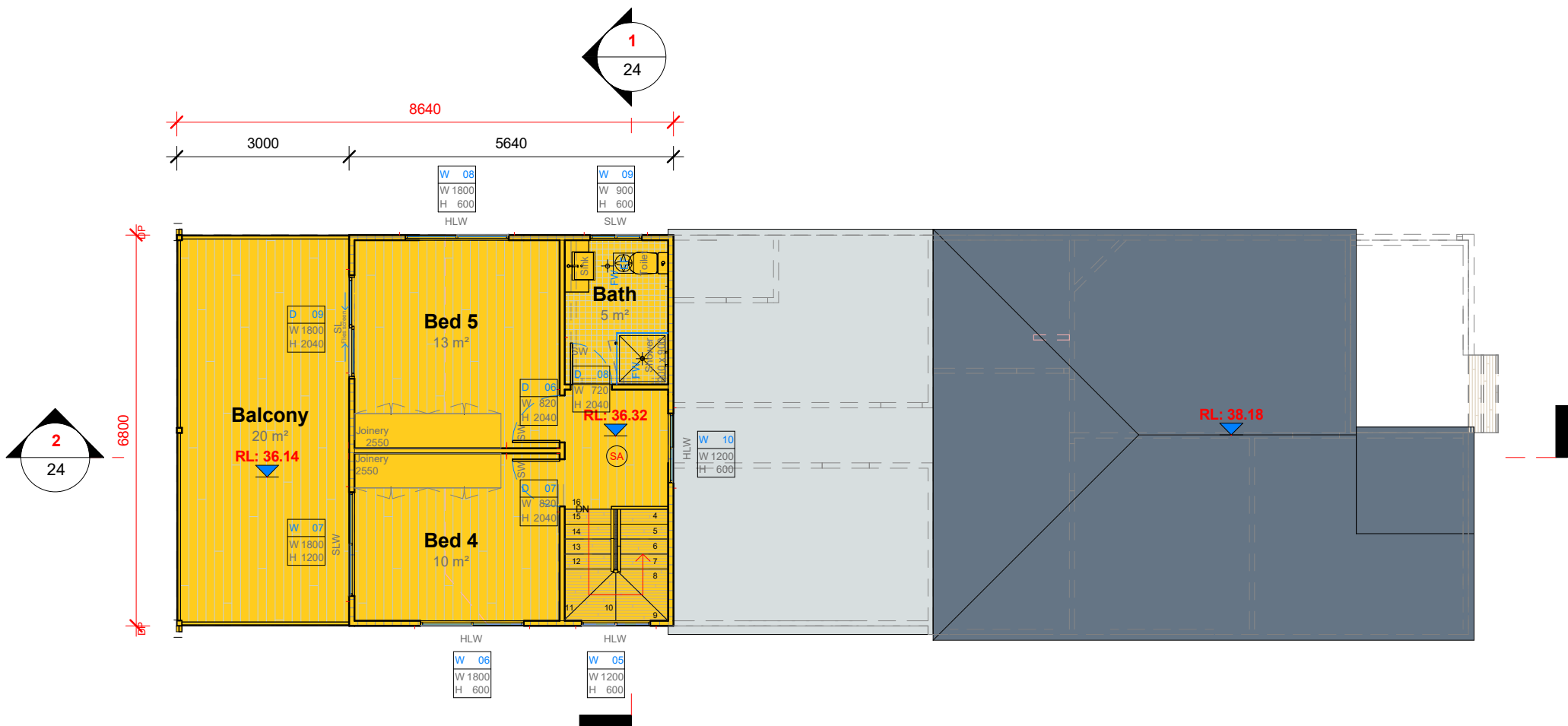
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Materials legend

- Existing stud timber
- Existing framed (weatherboard/fibro/metal clad)
- Existing cavity brick
- Solid timber or laminated product made from layers of timber, bonded together
- Concrete slab supported on foundations or directly on the subsoil
- New stud timber
- New framed (weatherboard/fibro/metal clad)
- New cavity brick
- Solid timber or laminated product made from layers of timber, bonded together
- Replace new finish material refer to materials schedule

Room schedule

Name	Area
Balcony	20 m²
Bath	7 m²
Bath	5 m²
Bed 4	10 m²
Bed 5	13 m²
Grand total	55 m²

Annotate legend

- Fix
- Awning
- Sliding window
- Highlight window
- Bi-fold
- Sliding
- Cavity sliding
- Single swing
- Double swing
- Overheadroller
- Floor waste
- Exhaust fan
- Mechanical ventilation as per part 3.8 of the BCA
- Reduced level
- Smoke alarm
- To be demolished
- Roof/skylight/structure above
- Floor/void/walls below/above
- Revision cloud
- D : Door W : Width
- W : Window H : Height
- A : Revision number
- yy.mm.dd : Revision date

Existing/Demolish/Proposed first floor plan

Scale: 1 : 100

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	Size A3	25.03.27	9	C	Council
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Materials legend

- New stud timber
- New framed (weatherboard/fibro/metal clad)
- New cavity brick
- Solid timber or laminated product made from layers of timber, bonded together
- Replace new finish material refer to materials schedule

Annotate legend

- Fix
- Awning
- Sliding window
- Highlight window
- Bi-fold
- Sliding
- Cavity sliding
- Single swing
- Double swing
- Overheadroller
- Floor waste
- Exhaust fan
- Mechanical ventilation as per part 3.8 of the BCA
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1 Proposed granny flat/Garage floor plan

Scale: 1 : 100

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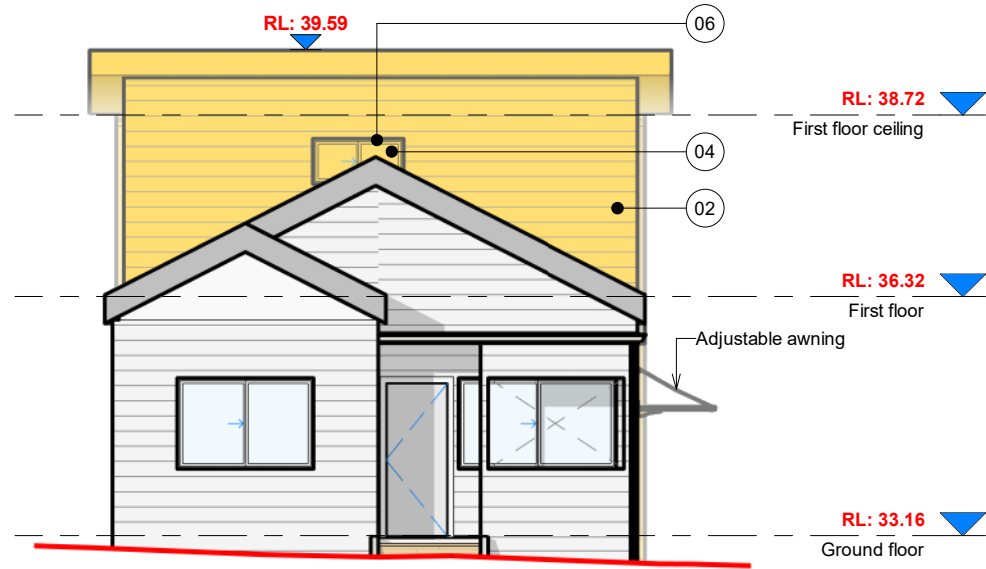
Drawing Proposed granny flat/Garage floor plan

Project S04054 Sheet 22 Size A3

Address 69 Robinson St N, Wiley Park NSW 2195

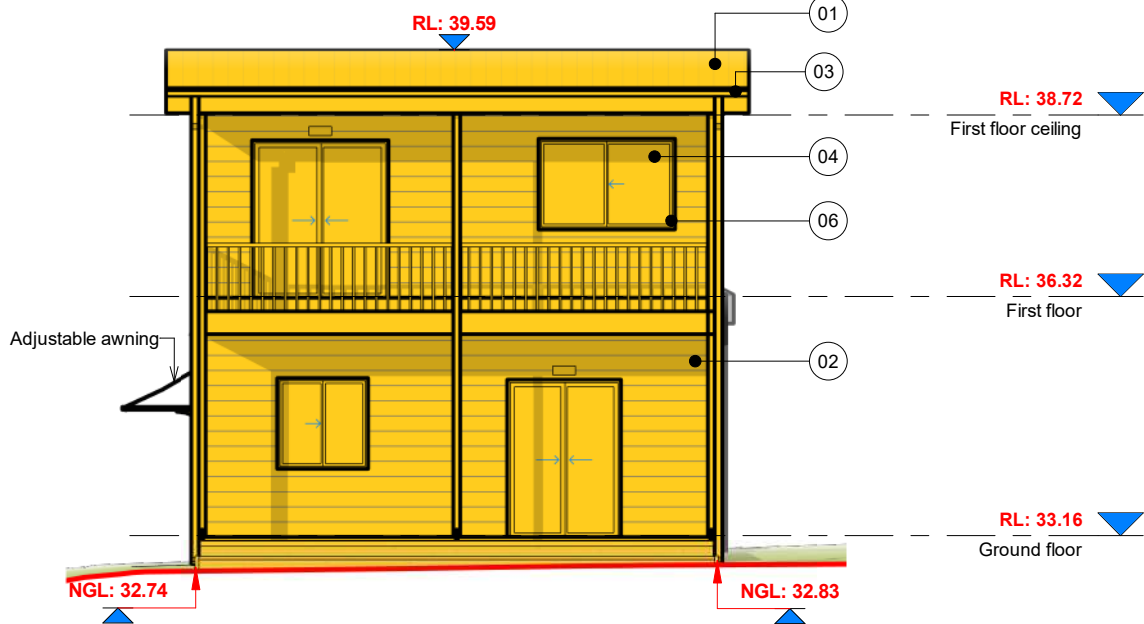
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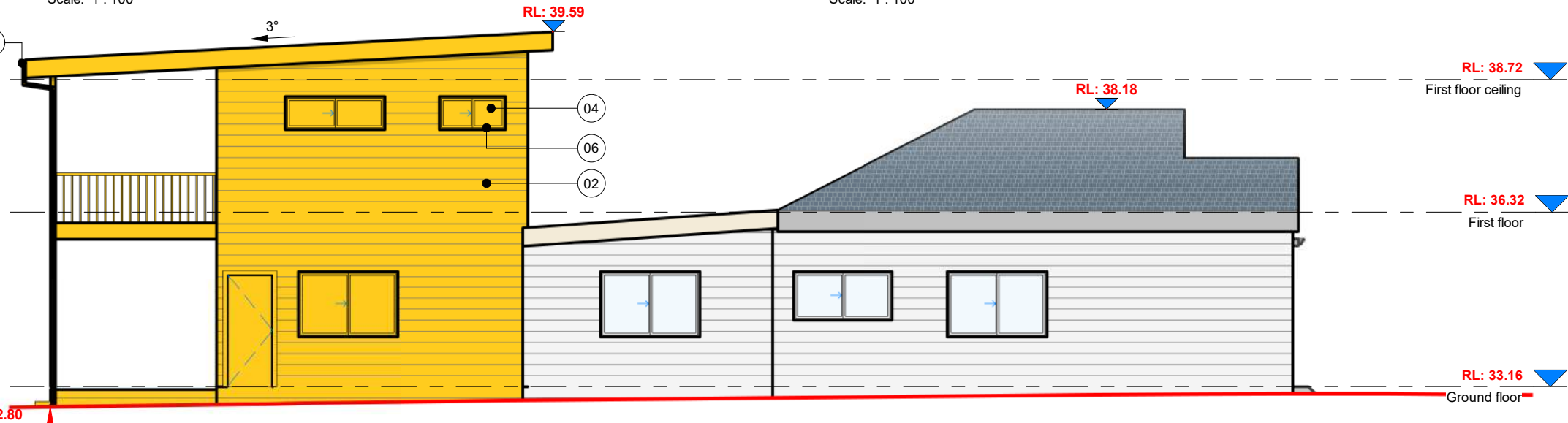
1 North East elevation

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Scale: 1 : 100



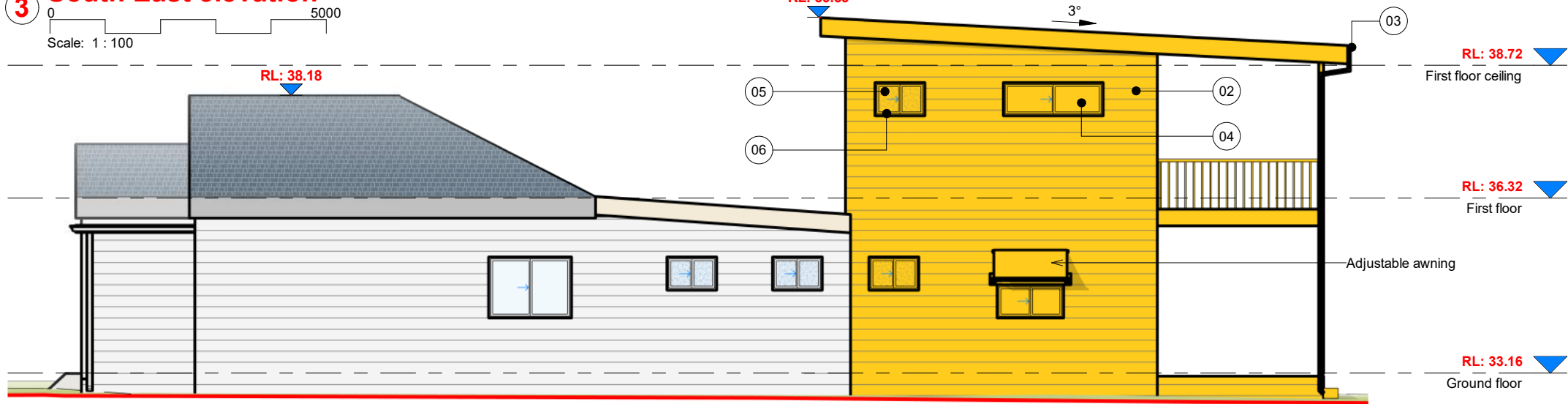
2 South West elevation

0 5000  
Scale: 1 : 100



3 South East elevation

0 5000  
Scale: 1 : 100



4 North West elevation

0 5000  
Scale: 1 : 100

### Materials legend

- Existing cladding wall
- Existing render finish wall
- Existing tile roof
- Existing colourbond roof
- New cladding wall
- New render finish wall
- New tile roof
- New colourbond roof
- Window/s privacy screen
- Outdoor ancillary privacy screen

### Annotate legend

- Reduced level
- New ground level
- Boundary line
- New ground line
- Natural ground line
- Approximate fill region shown hatched
- Approximate cut region shown hatched
- Revision cloud
- A : Revision number
- yy.mm.dd : Revision date

### Exterior finishes schedule

Images	Material	Description
	01	Colorbond range as selected by owner/or similar material image
	02	Cladding and painted finish to walls/or similar material image
	03	Aluminium, cool gray/or similar material image
	04	Glass window, door, skylight, railing/or similar material image
	05	Frosted glass WC, bath window/or similar material image
	06	Aluminium, cool gray/or similar material image
	07	Steel, ivory, matte/or similar material image
	08	Spm, translucent/or similar material image

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Logo of associate entity

Email address of associate entity

Drawing	Front elevation & Rear elevation	Date	S	R	Issued
Project	S04054	25.02.18	7	5	Client
Sheet	23	25.03.04	8	C	Add BASIX
Size	A3	25.03.27	9	C	Council
Address	69 Robinson St N, Wiley Park NSW 2195	25.04.01	10	C	Council

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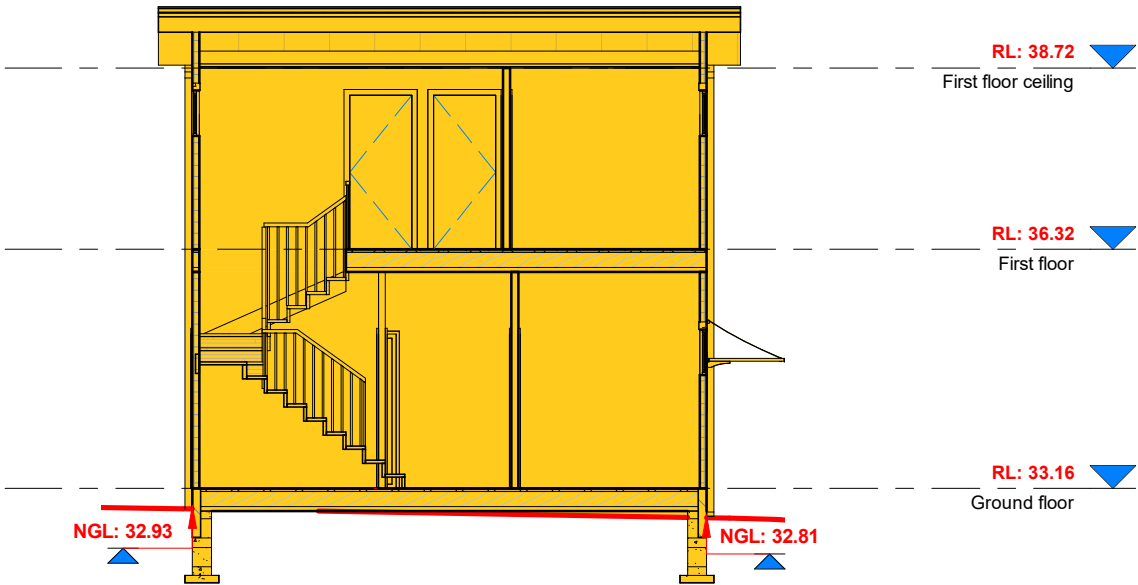


Materials legend

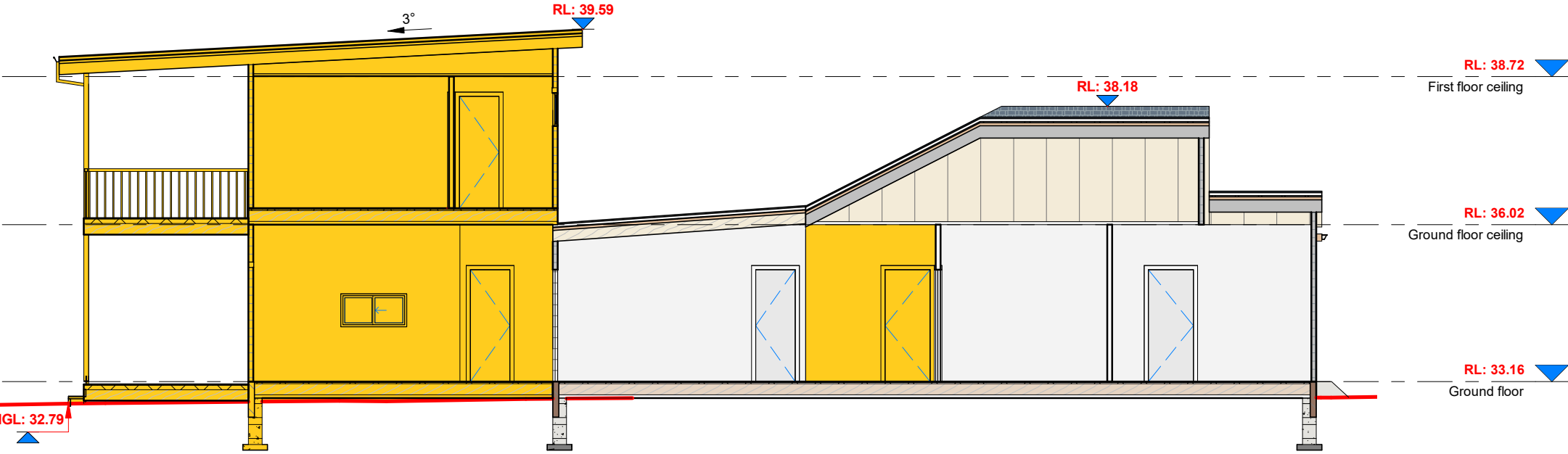
Existing stud timber	
Existing framed (weatherboard/fibro/metal clad)	
Existing concrete block/plasterboard	
Existing structure panel system	
Existing cavity brick	
Existing brick veneer	
Existing fireproof	
Existing tile roof	
Existing colourbond roof	
Existing concrete floor	
Existing timber floor	
New stud timber	
New framed (weatherboard/fibro/metal clad)	
Concrete block/plasterboard	
New structure panel system	
New Cavity brick	
New brick veneer	
CSR 2357 or higher to FRL 60/60/60 fire wall	
New tile roof	
New colourbond roof	
New concrete slab	
New timber floor	

Annotate legend

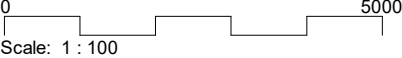
Reduced level	
New ground level	
Boundary line	
New ground line	
Natural ground line	
Approximate fill region shown hatched	
Approximate cut region shown hatched	
Revision cloud	
A : Revision number	A
yy.mm.dd : Revision date	yy.mm.dd



1 Section 1



2 Section 2



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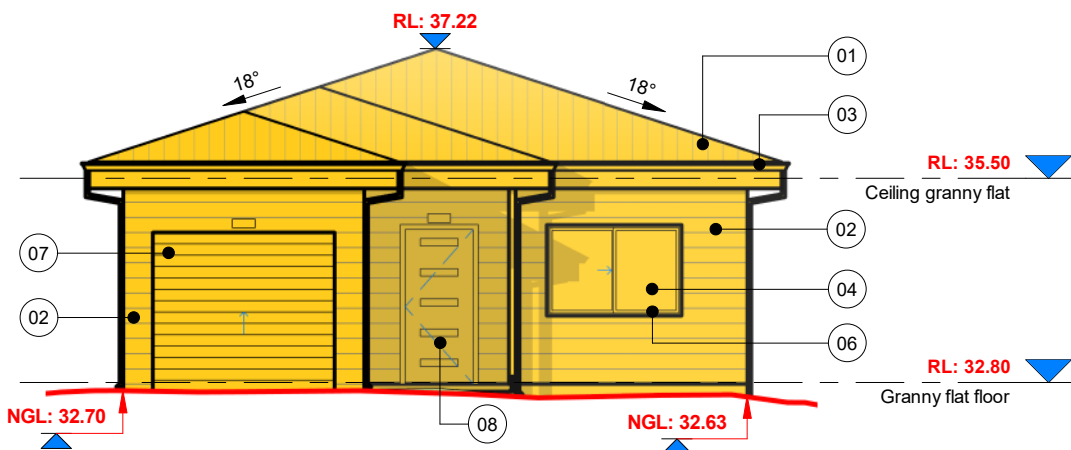
Logo of  
associate  
entity

Drawing	Sections	Date	S	R	Issued
Project	S04054	25.02.18	7	5	Client
Sheet	24	25.03.04	8	C	Add BASIX
Size	A3	25.03.27	9	C	Council
Address	69 Robinson St N, Wiley Park NSW 2195	25.04.01	10	C	Council

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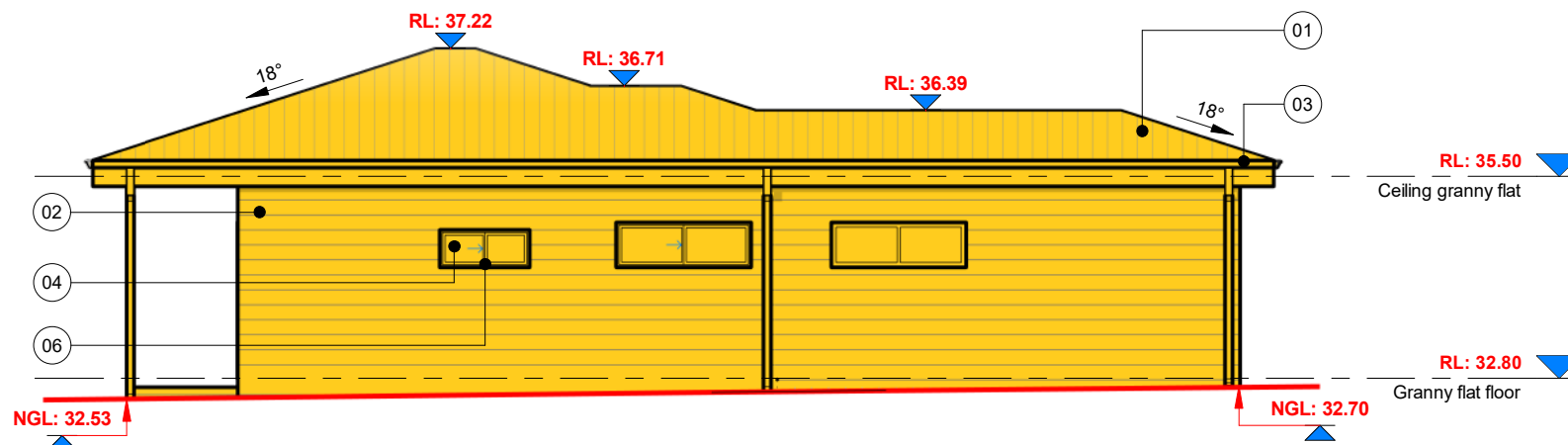






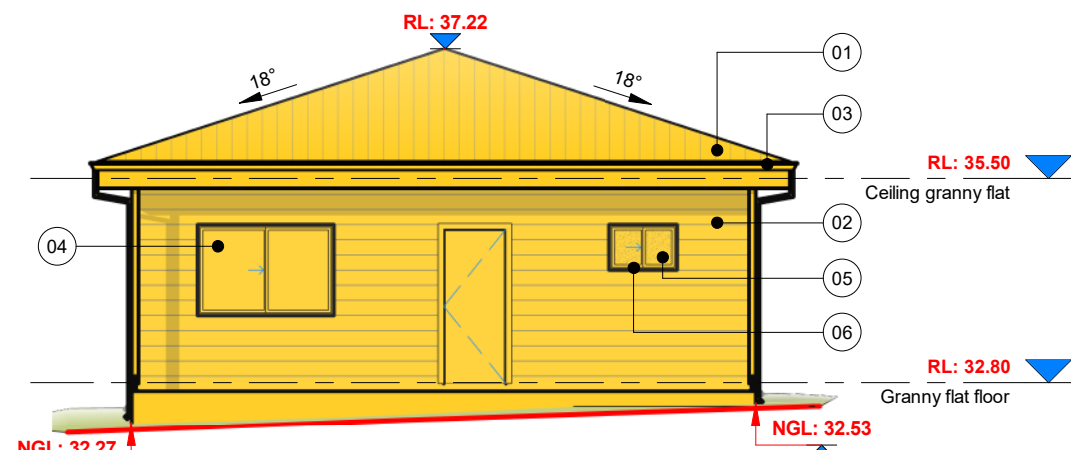
1 North East elevation -Granny flat

Scale: 1 : 100



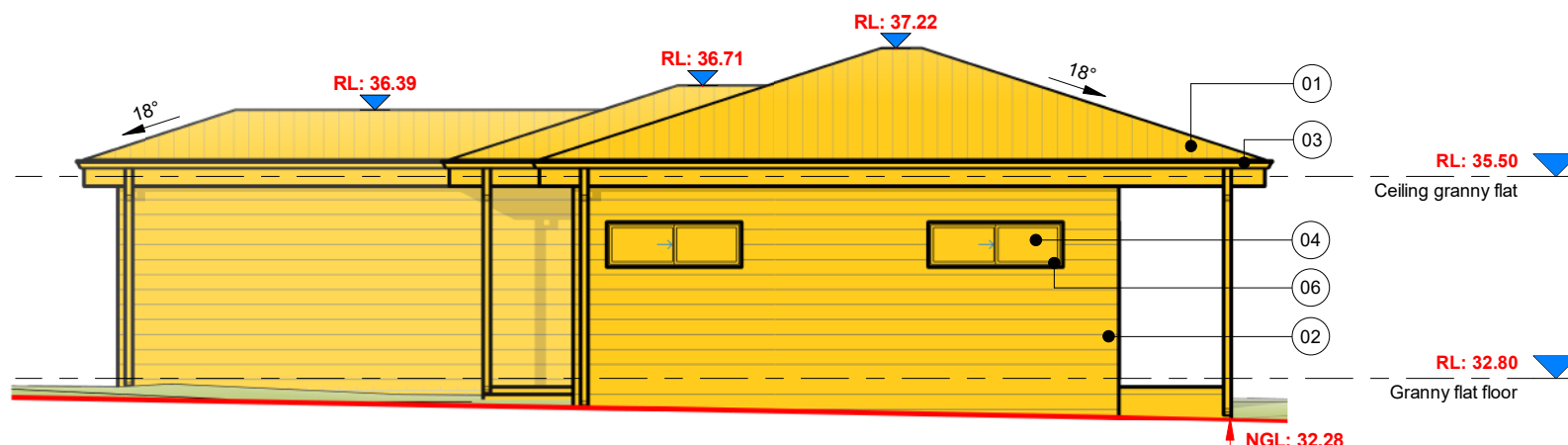
2 South East elevation -Granny flat

Scale: 1 : 100



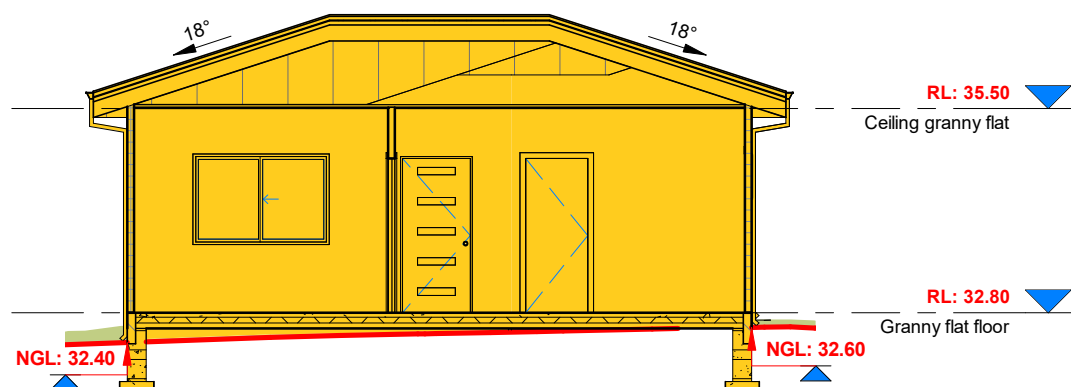
3 South West elevation -Granny flat

Scale: 1 : 100



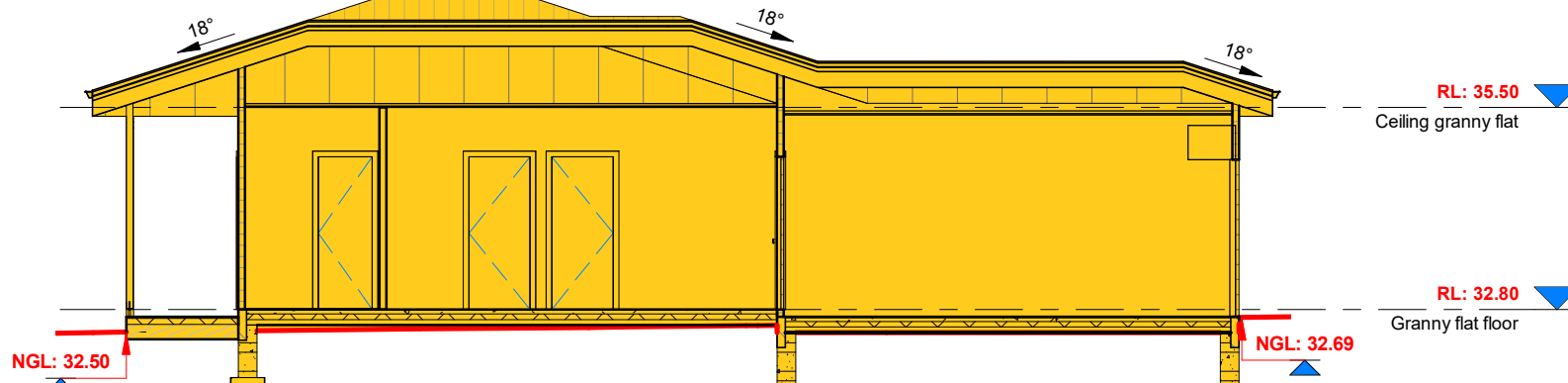
4 North West elevation -Granny flat

Scale: 1 : 100



5 Section 1 -Granny flat

Scale: 1 : 100



6 Section 2 -Granny flat

Scale: 1 : 100

## Annotate legend

Slope	0°
Reduced level	RL:00
New ground level	NGL:00
Boundary line	---
New ground line	---
Natural ground line	---
3.8m max height limit	---
Approximate fill region shown hatched	///
Approximate cut region shown hatched	\\
Revision cloud	---
A : Revision number	A
yy.mm.dd : Revision date	yy.mm.dd

## Materials legend

Brick wall	---
Cladding wall	---
Render finish wall	---
Selected light colourbond	---
Stud timber	---
Framed (weatherboard/fibro/metal clad)	---
Single brick	---
Colourbond roof	---
Concrete floor	---
Timber floor	---

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Drawing Elevations/Sections-Granny flat

Project **S04054**

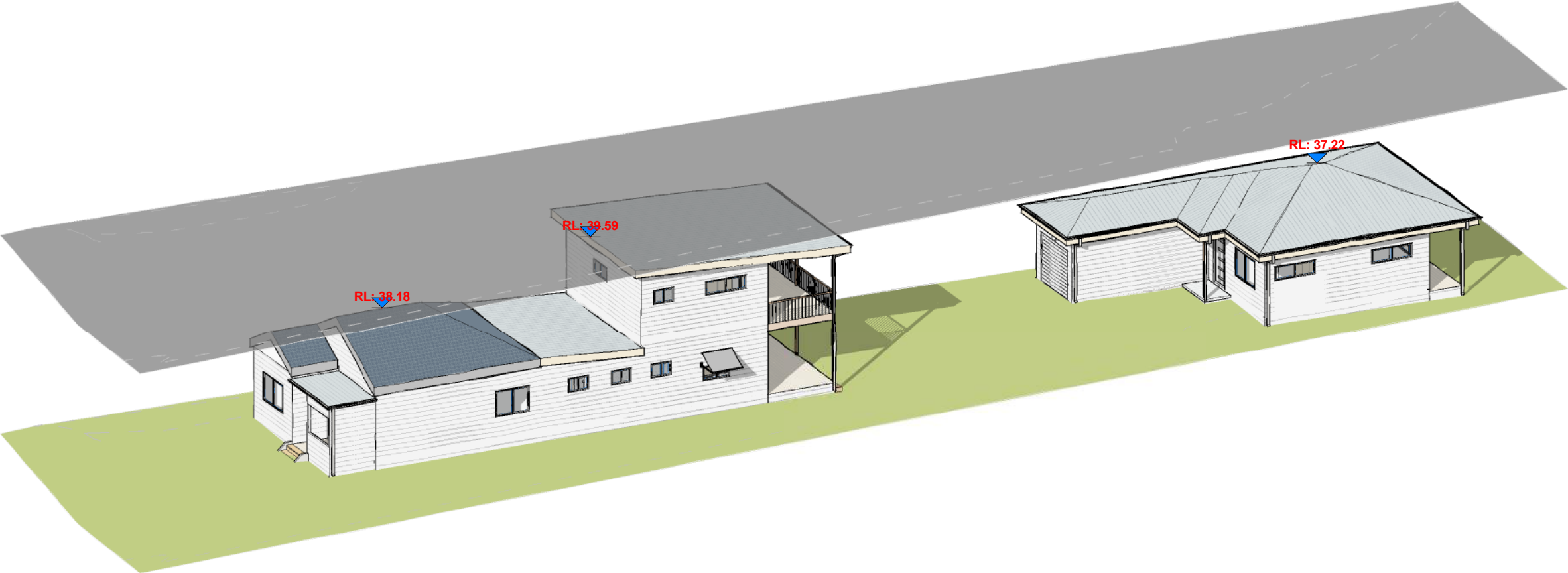
Sheet **25** Size **A3**

Address 69 Robinson St N, Wiley Park NSW 2195

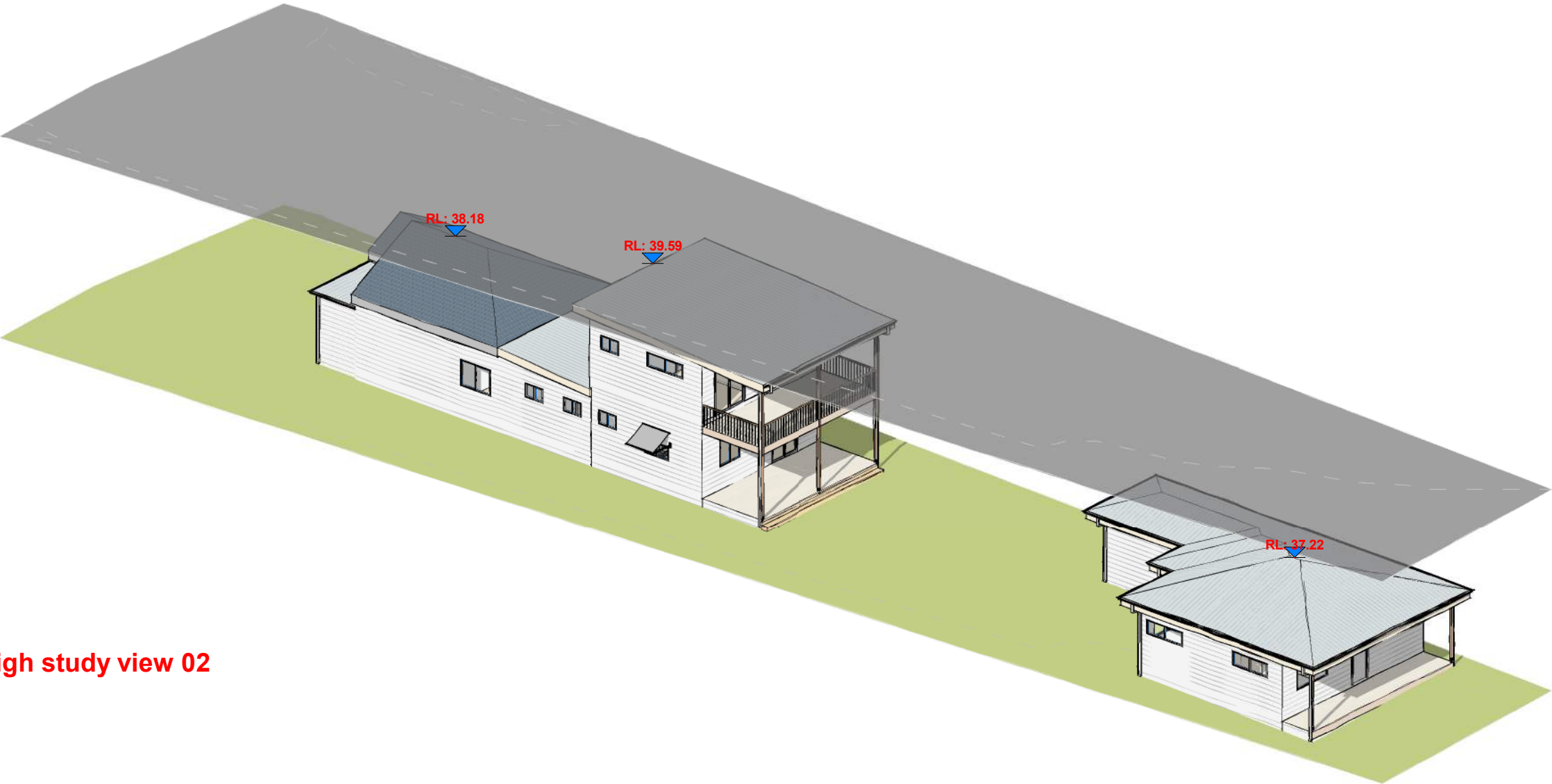
Date	S	R	Issued
25.02.18	7	5	Client
25.03.04	8	C	Add BASIX
25.03.27	9	C	Council
25.04.01	10	C	Council

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High study view 01



Legend

- 8.5m high limit
- Existing natural ground
- Reduced level

High study view 02

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Drawing Height Study		
Project S04054	Sheet 26	Size A3
Address 69 Robinson St N, Wiley Park NSW 2195		

Date	S	R	Issued
25.02.18	7	5	Client
25.03.04	8	C	Add BASIX
25.03.27	9	C	Council
25.04.01	10	C	Council



Door schedule

Mark	Height	Width	Operating type	Frame	Glass type
01	2040	1500	Sliding	Timber/uPVC/Fiberglass	Single glazed, clear
02	2040	720	Normal	Timber/uPVC/Fiberglass	n/a
03	2040	720	Normal	Timber/uPVC/Fiberglass	n/a
04	2040	820	Normal	Timber/uPVC/Fiberglass	n/a
05	2040	820	Normal	Timber/uPVC/Fiberglass	n/a
06	2040	820	Normal	Timber/uPVC/Fiberglass	n/a
07	2040	820	Normal	Timber/uPVC/Fiberglass	n/a
08	2040	720	Normal	Timber/uPVC/Fiberglass	n/a
09	2040	1800	Sliding	Timber/uPVC/Fiberglass	Single glazed, clear
10	2100	2400	Roller	Aluminium	n/a
11	2040	900	Normal	Timber/uPVC/Fiberglass	Single glazed, clear
12	2040	720	Normal	Timber/uPVC/Fiberglass	n/a
13	2040	820	Normal	Timber/uPVC/Fiberglass	n/a
14	2040	820	Normal	Timber/uPVC/Fiberglass	n/a
15	2040	820	Normal	Timber/uPVC/Fiberglass	n/a
16	2040	820	Normal	Timber/uPVC/Fiberglass	n/a

Grand total: 16

Operating type

Operating type	Ventilation potential	Air infiltration	Frame fraction
Hinged/ projected	High	Medium	High
Sliding	Medium	High	Medium
Fixed	None	Low	Low

Window schedule

Mark	Height	Width	Level	Sill Height	Legend	Operating type	Frame	Glass type
01	1200	1800	Ground floor	900	SLW	Sliding	Aluminum	Single glazed, clear
02	1200	1200	Ground floor	900	SLW	Sliding	Aluminum	Single glazed, clear
03	600	1200	Ground floor	1000	HLW	Sliding	Aluminum	Single glazed, clear
04	600	900	Ground floor	1500	SLW	Sliding	Aluminum	Single glazed, tint
05	600	1200	First floor	1500	HLW	Sliding	Aluminum	Single glazed, clear
06	600	1800	First floor	1500	HLW	Sliding	Aluminum	Single glazed, clear
07	1200	1800	First floor	900	SLW	Sliding	Aluminum	Single glazed, clear
08	600	1800	First floor	1500	HLW	Sliding	Aluminum	Single glazed, clear
09	600	900	First floor	1500	SLW	Sliding	Aluminum	Single glazed, tint
10	600	1200	First floor	1500	HLW	Sliding	Aluminum	Single glazed, clear
11	600	1800	Granny flat floor	1500	FW	Fixed	Aluminum	Single glazed, clear
12	600	1800	Granny flat floor	1500	HLW	Sliding	Aluminum	Single glazed, clear
13	500	1200	Granny flat floor	1500	SLW	Sliding	Aluminum	Single glazed, clear
14	600	900	Granny flat floor	1500	SLW	Sliding	Aluminum	Single glazed, tint
15	1200	1800	Granny flat floor	900	SLW	Sliding	Aluminum	Single glazed, clear
16	600	1800	Granny flat floor	1500	HLW	Sliding	Aluminum	Single glazed, clear
17	600	1800	Granny flat floor	1500	HLW	Sliding	Aluminum	Single glazed, clear
18	1200	1800	Granny flat floor	900	SLW	Sliding	Aluminum	Single glazed, clear

Grand total: 18

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entity

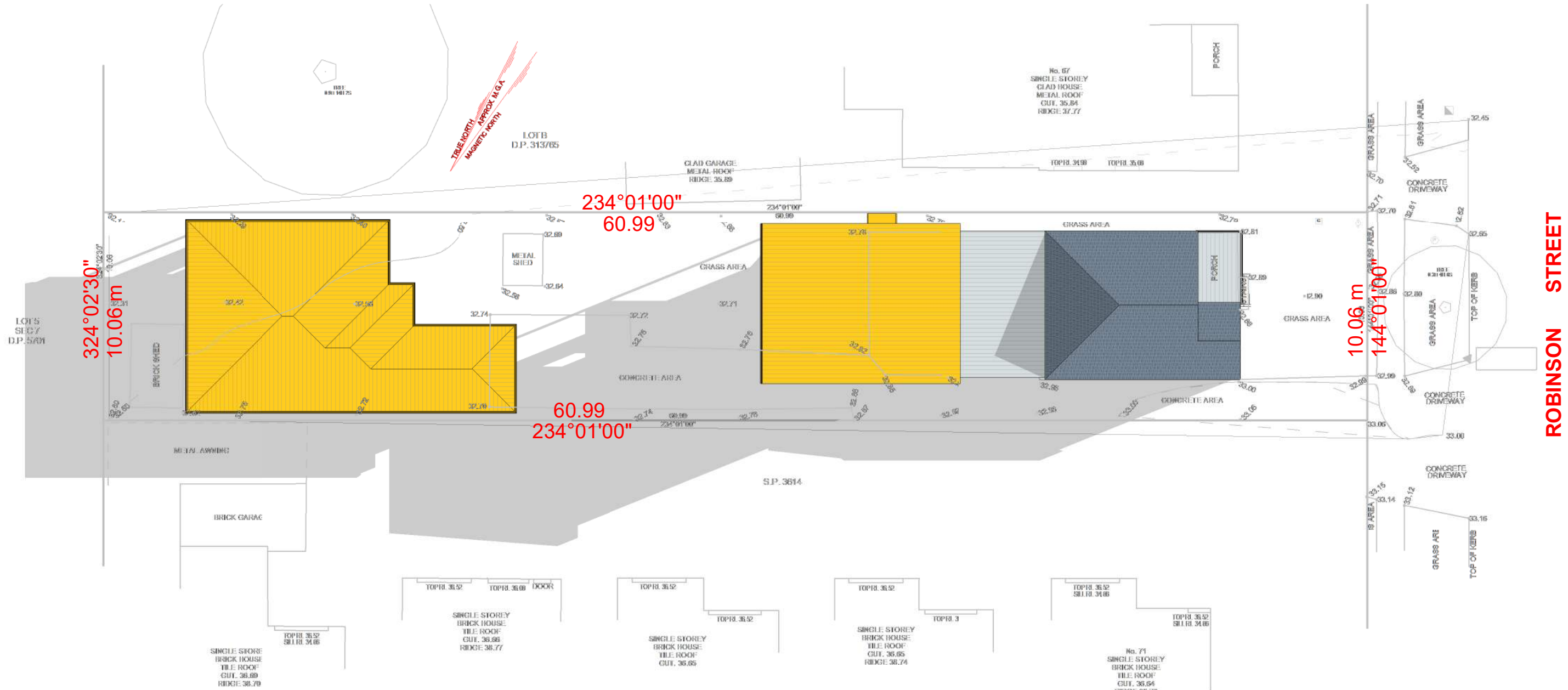
Drawing Doors & Windows schedule		
Project	S04054	Sheet 27 Size A3
Address 69 Robinson St N, Wiley Park NSW 2195		

Date	S	R	Issued
25.02.18	7	5	Client
25.03.04	8	C	Add BASIX
25.03.27	9	C	Council
25.04.01	10	C	Council

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1 Shadow diagram June 21st 9am

0 10000

Scale: 1 : 200

Solar detailed compliance table

Min 3 hours sunlight @ 50% of POS area, Winter solstice on June 21st								
Unit	Min.open space	9 am	10 am	11 am	12 pm	1 pm	2 pm	3 pm
1	40.00 sqm	100%	100%	66.20%	43.05%	0.00%	0.00%	6.87%
2	40.00 sqm	59.57%	15.97%	0.00%	32.55%	20.60%	62.00%	99.20%
3	40.00 sqm	10.05%	19.75%	28.62%	43.17%	61.80%	95.57%	100%
4	40.00 sqm	59.57%	23.55%	21.20%	31.82%	4.57%	0.00%	8.82%
5	40.00 sqm	100%	100%	100%	84.90%	6.00%	0.00%	0.00%
Sunlight average								
		45.16%	41.41%	47.19%	20.73%	55.84%		

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entity

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Drawing Shadow diagram June 21st 9am

Project **S04054** Sheet **28** Size **A3**

Address 69 Robinson St N, Wiley Park NSW 2195

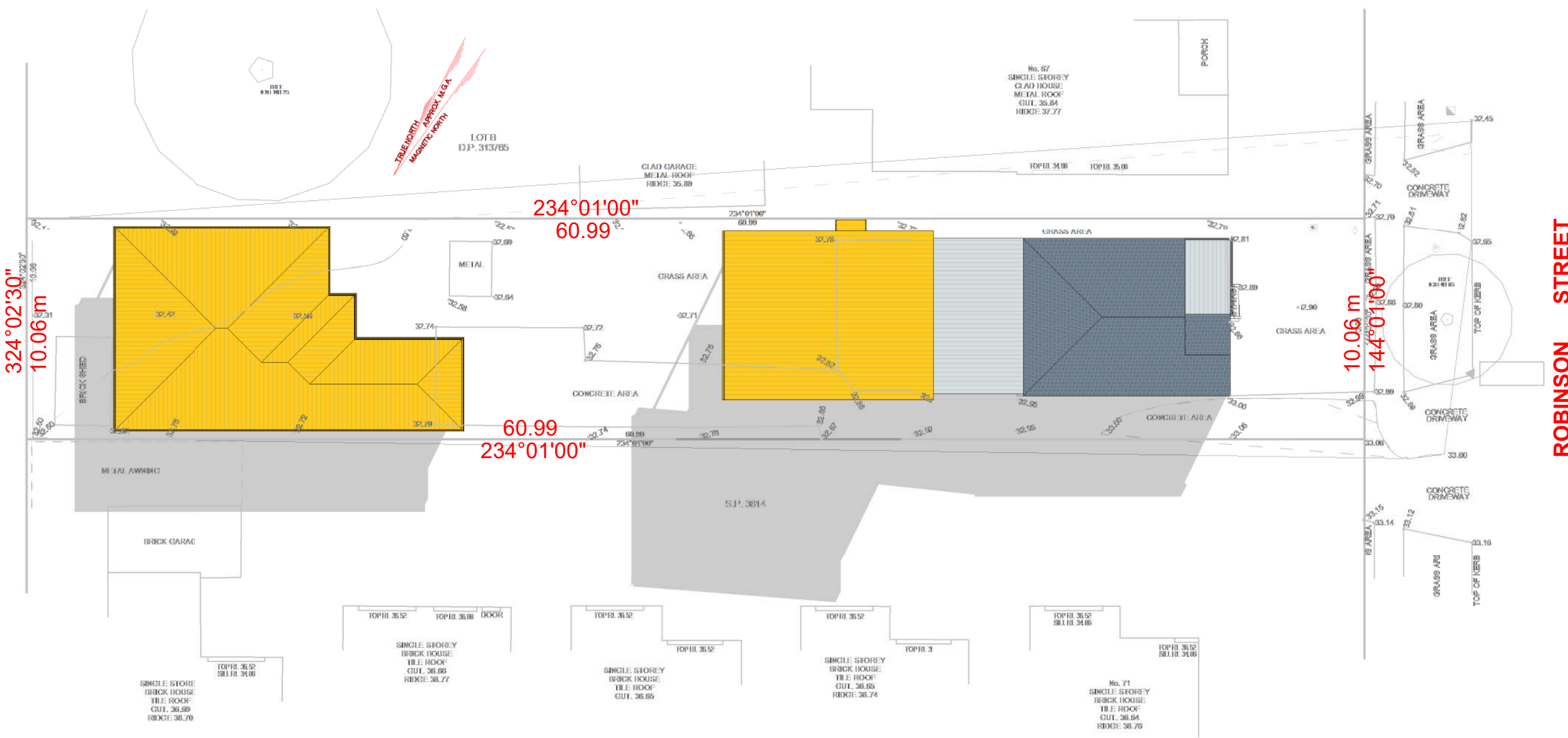
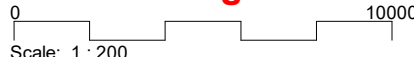
Date	S	R	Issued
25.02.18	7	5	Client
25.03.04	8	C	Add BASIX
25.03.27	9	C	Council
25.04.01	10	C	Council

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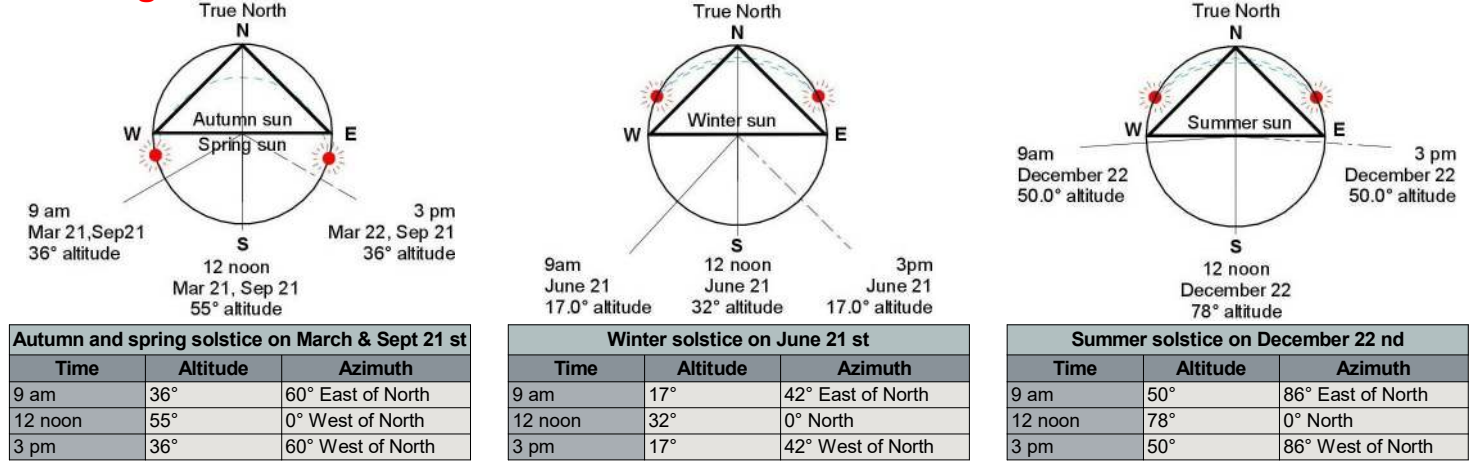




1 Shadow diagram June 21st 12pm



Sun angle information



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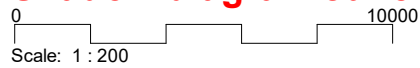
Logo of  
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Drawing	Shadow diagram June 21st 12pm	Date	25.02.18	S	7	R	5	Client	Issued
Project	S04054	Sheet	29	Size	A3	Date	25.03.04	8	C Add BASIX
Address	69 Robinson St N, Wiley Park NSW 2195	Date	25.03.27	9	C Council	Date	25.04.01	10	C Council



1 Shadow diagram June 21st 3pm



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Drawing Shadow diagram June 21st 3pm

Project **S04054**

Sheet **30** Size **A3**

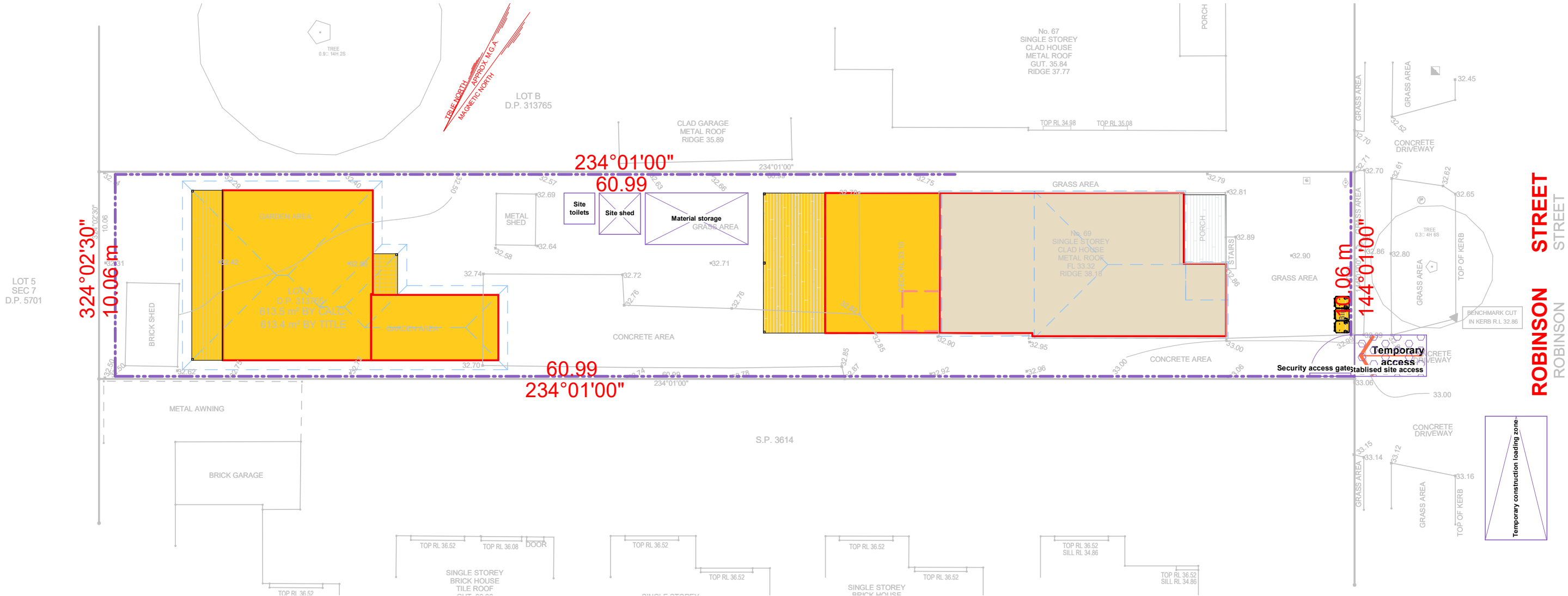
Address 69 Robinson St N, Wiley Park NSW 2195

Date	S	R	Issued
25.02.18	7	5	Client
25.03.04	8	C	Add BASIX
25.03.27	9	C	Council
25.04.01	10	C	Council

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1 Site/Waste management plan

Sediment legend

- Boundary line
- The sewer line
- Sedimnet 1.8m fence
- Roof/skylight/structure above
- Existing footprint/works/building envelope
- Proposed footprint/works/building envelope

**Temporary access**  
Temporary access corridor to site for (movement of people, materials, waste and machinery)

**Stabilised site access**  
Vehicles carrying loose building materials to be covered in compliance with road traffic regulations. Safe access for heavy equipment plant and materials delivery, sediment controls to be placed across driveway

**Material storage**  
Construction materials storage area location of stockpile material and waste. ie. bricks, tiles & similar materials, timber offcuts and recyclable materials & waste for landfill

**Temporary construction loading zone**  
Temporary construction loading zone area for cranes + conc. trucks

**Site shed**  
Location of stockpile material and waste. ie. bricks, tiles & similar materials, timber offcuts and recyclable materials & waste for landfill top soil, sand stockpile to be covered and protected with geotextile fabric

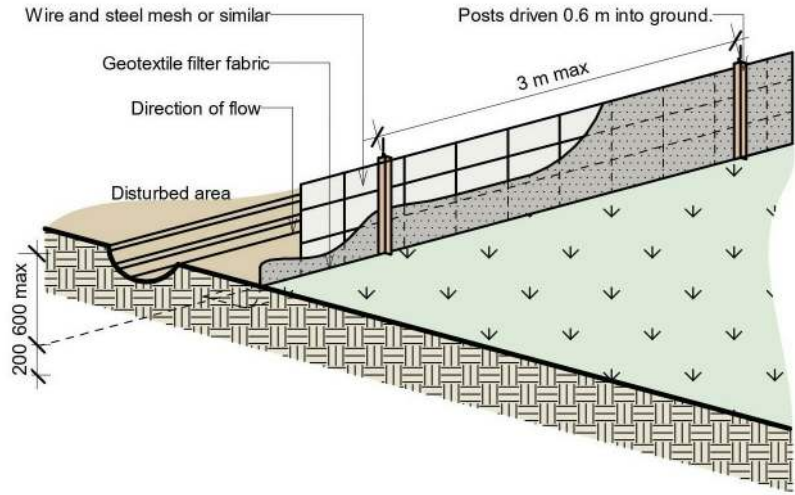
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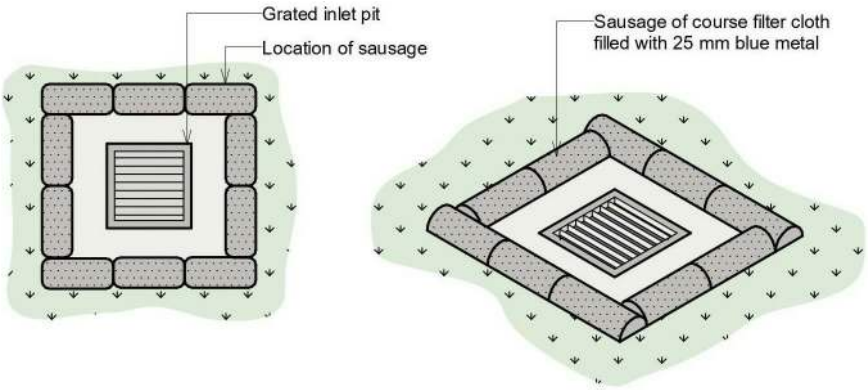
Email address of associate entity

Logo of associate entity

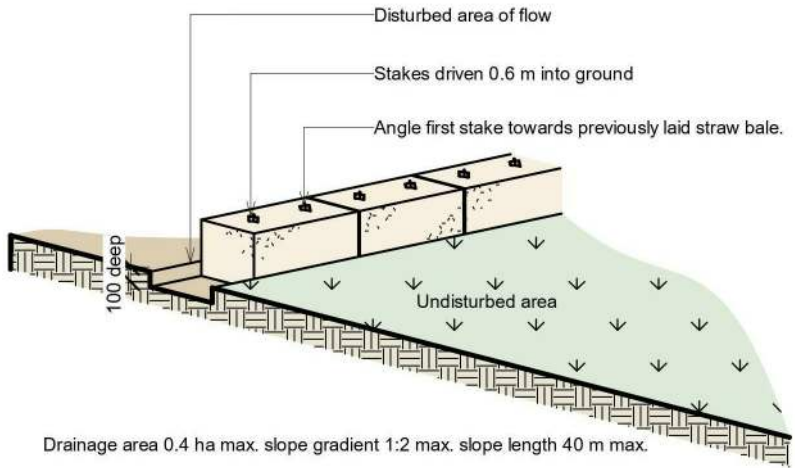
Drawing Site/Waste management plan				Date	S	R	Issued
Project	S04054	Sheet 31	Size A3	25.02.18	7	5	Client
				25.03.04	8	C	Add BASIX
				25.03.27	9	C	Council
Address 69 Robinson St N, Wiley Park NSW 2195				25.04.01	10	C	Council



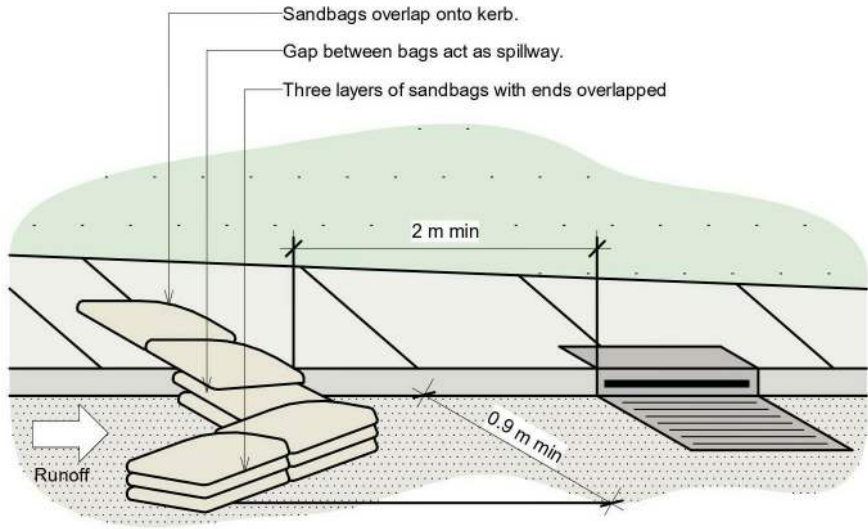
Sediment fence



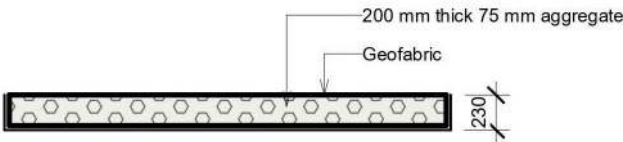
Location of sausage



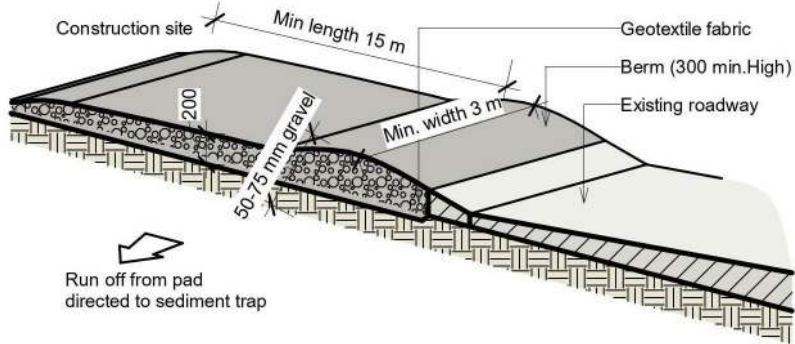
Straw bale sediment filter



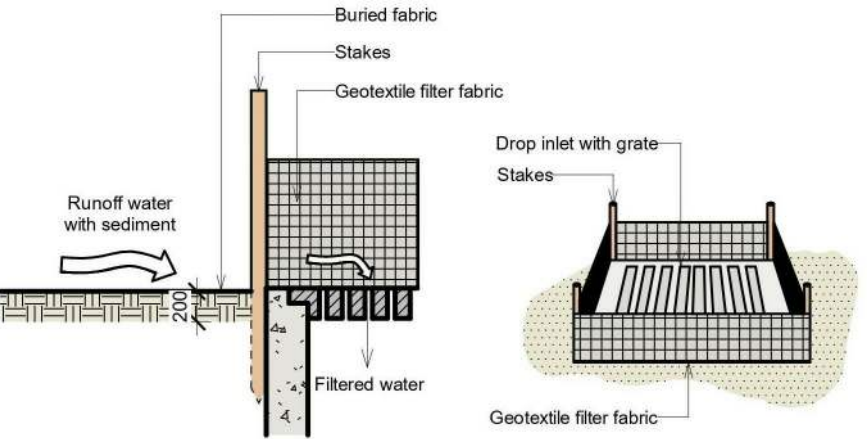
Sandbag kerb inlet sediment trap



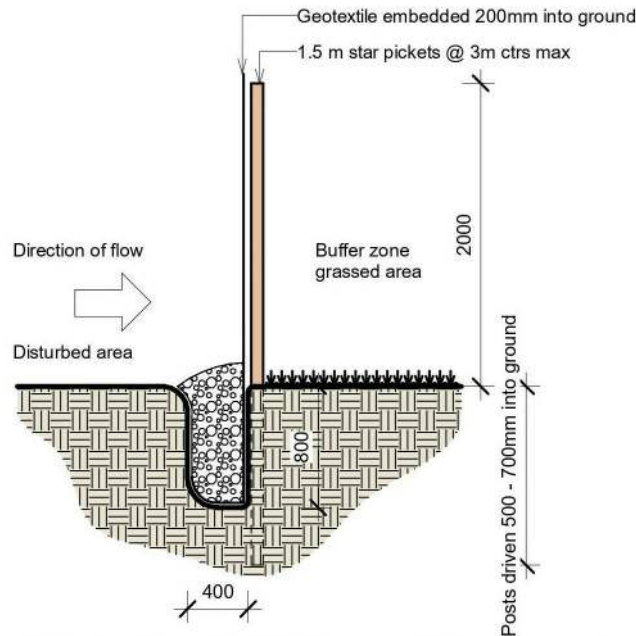
Detail of stabilised site access



Geofabric lined silt fence (structure type A)

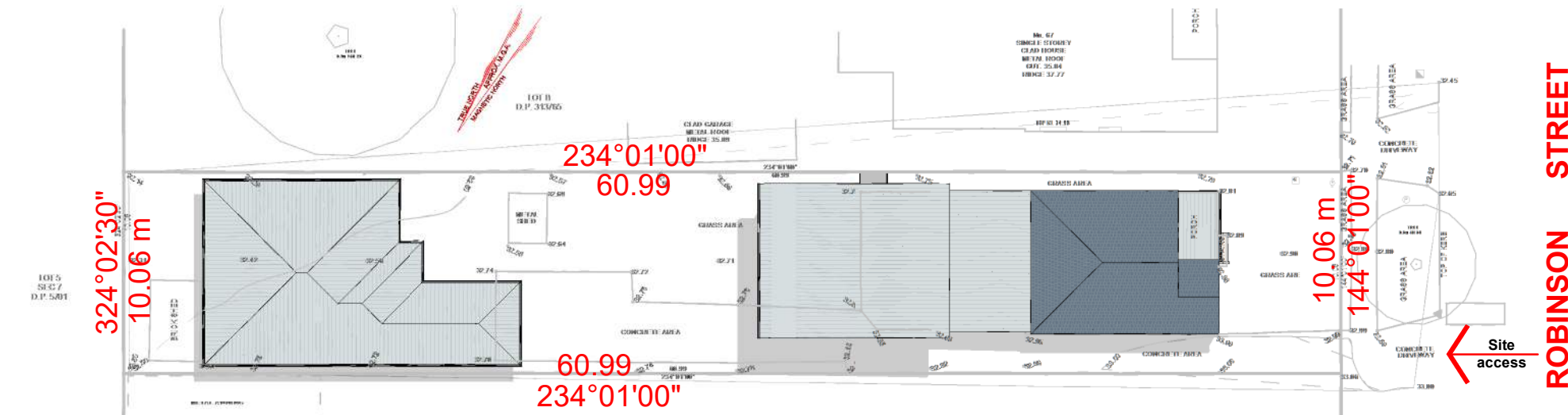


Geotextile filter fabric drop inlet sediment trap



Geofabric lined silt fence (structure type A)





Site plan



North East elevation



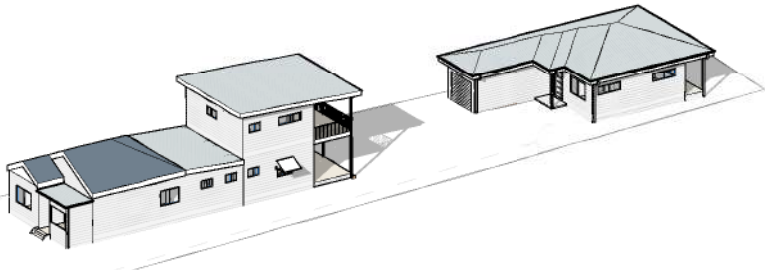
South West elevation



South East elevation



North West elevation



Overview axonometric



North East elevation -Granny flat



South West elevation -Granny flat



South East elevation -Granny flat



North West elevation -Granny flat

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Drawing	Notification plans
Project	S04054
Sheet	33
Size	A4
Address	69 Robinson St N, Wiley Park NSW 2195

Date	S	R	Issued
25.02.18	7	5	Client
25.03.04	8	C	Add BASIX
25.03.27	9	C	Council
25.04.01	10	C	Council



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